

## **IV. DESIGN GUIDELINES**

### **A. SITE PLANNING GUIDELINES**

#### **1. SITE PLANNING: INTRODUCTION**

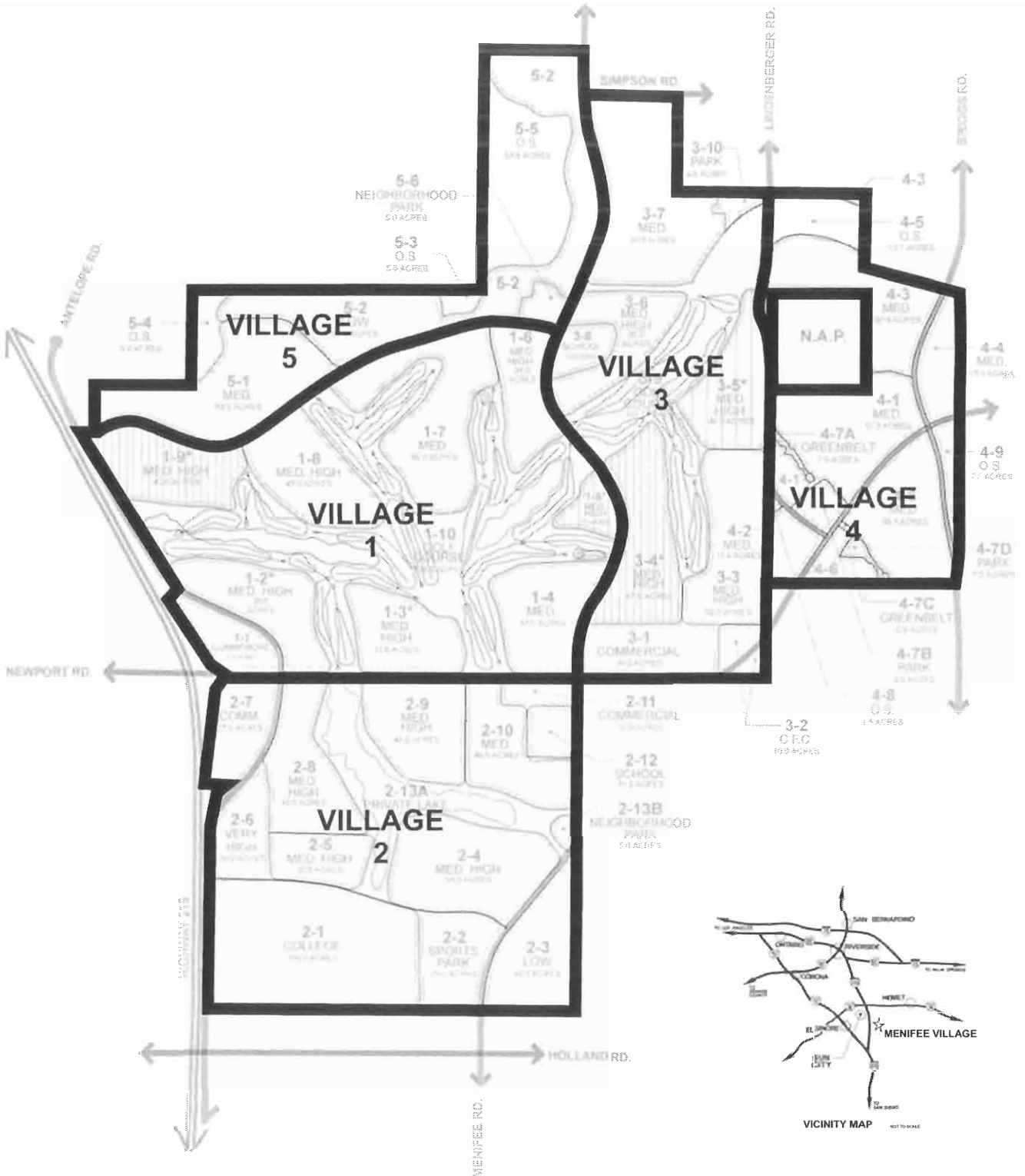
The Menifee Specific Land Use Plan divides the approximately 1,977 acres of the project area into five logical sub-areas called “villages” (See Figure 58, *Menifee Villages Concept*). Each village will have a unique “theme” or concept associated with it. The architecture and landscaping within each village shall clearly reflect the chosen design theme, thereby creating a strong sense of village identity and character. The specific plan also assigns land uses to the 1,977-acre project area. Several residential neighborhoods, school sites, and commercial districts are identified within each village.

After the entire project area is divided into logical planning subareas (Villages One through Five), each subarea is divided into neighborhoods, with each neighborhood specifically located in relation to the other neighborhoods and to the open space areas. Figure 59, *Neighborhood Area Concepts*, shows how these neighborhoods are planned at schematic planning area configuration is established, each neighborhood is further refined for circulation and land use intensity (See Figure 60, *Neighborhood Circulation Concept*.)

Finally, each neighborhood will be specifically site planned showing precise street alignments, trail systems, building locations, etc. Detailed information relating to the residential and commercial area to be built in the first phase is given in Section III.A., Project-Wide Development Plans and Standards.

The Specific Plan, in compliance with the Riverside County General Plan, requires that a certain percentage of land within the community of Menifee be retained as permanent open space. Additional land within each residential neighborhood or planning area may be set aside as open space, but the open space requirements of the County have already been satisfied by the specific plan.

The extensive open space system will weave through these villages linking them together into the community of Menifee. This open space system will consist of a 36-hole golf course, a 53-acre private lake, a 25-acre sports park, 5 neighborhood parks totaling 21.2 acres, pedestrian walkways and an equestrian trail. All open space areas shall be fully integrated into the community and surrounding residential neighborhoods. Some neighborhoods will have recreational areas designed for their sole use as well as common areas such as aforementioned golf course, clubhouse, sports park, and lake facilities designed for use by all Menifee residents.

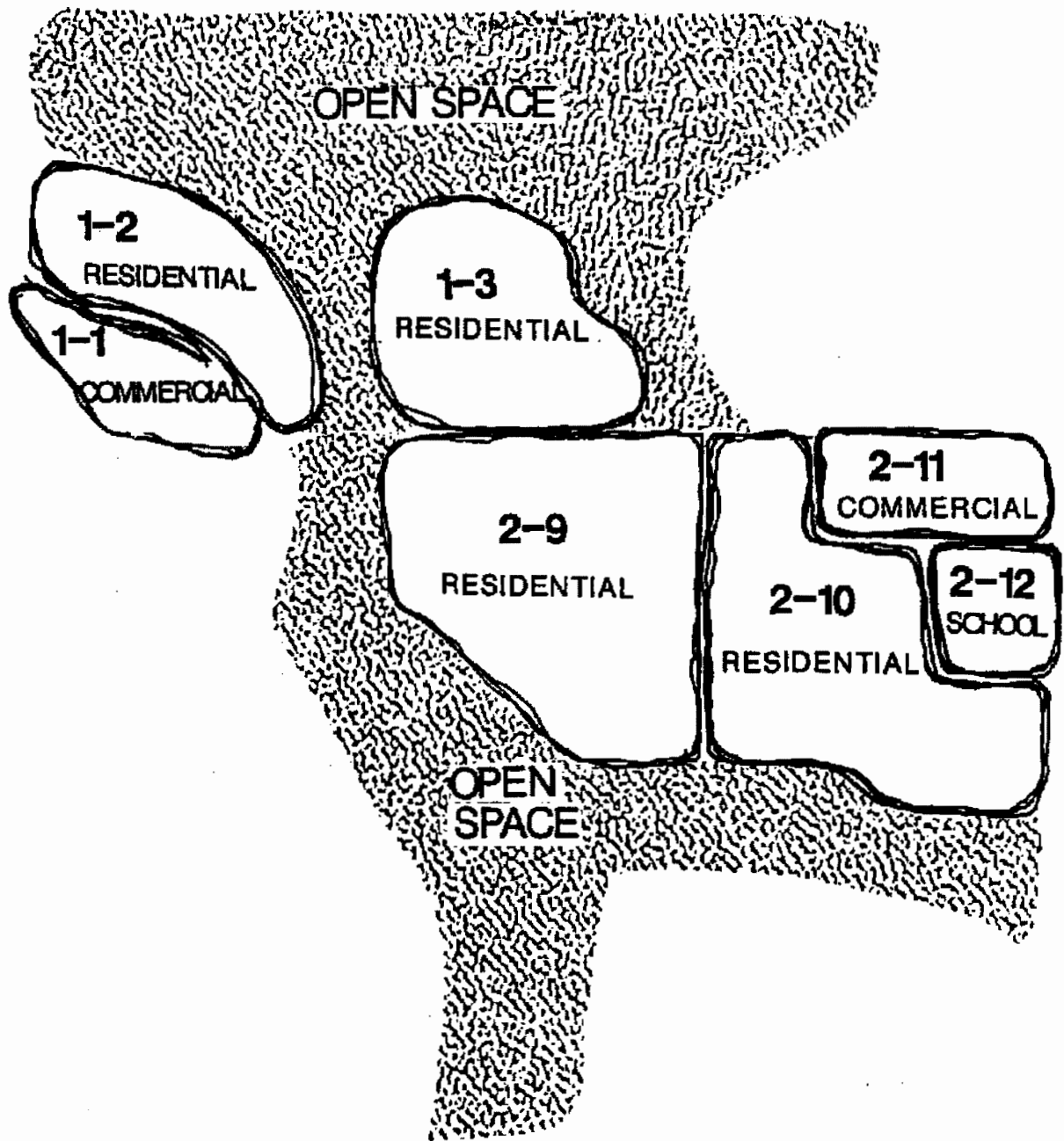


MENIFEE VILLAGES CONCEPT



Figure 58



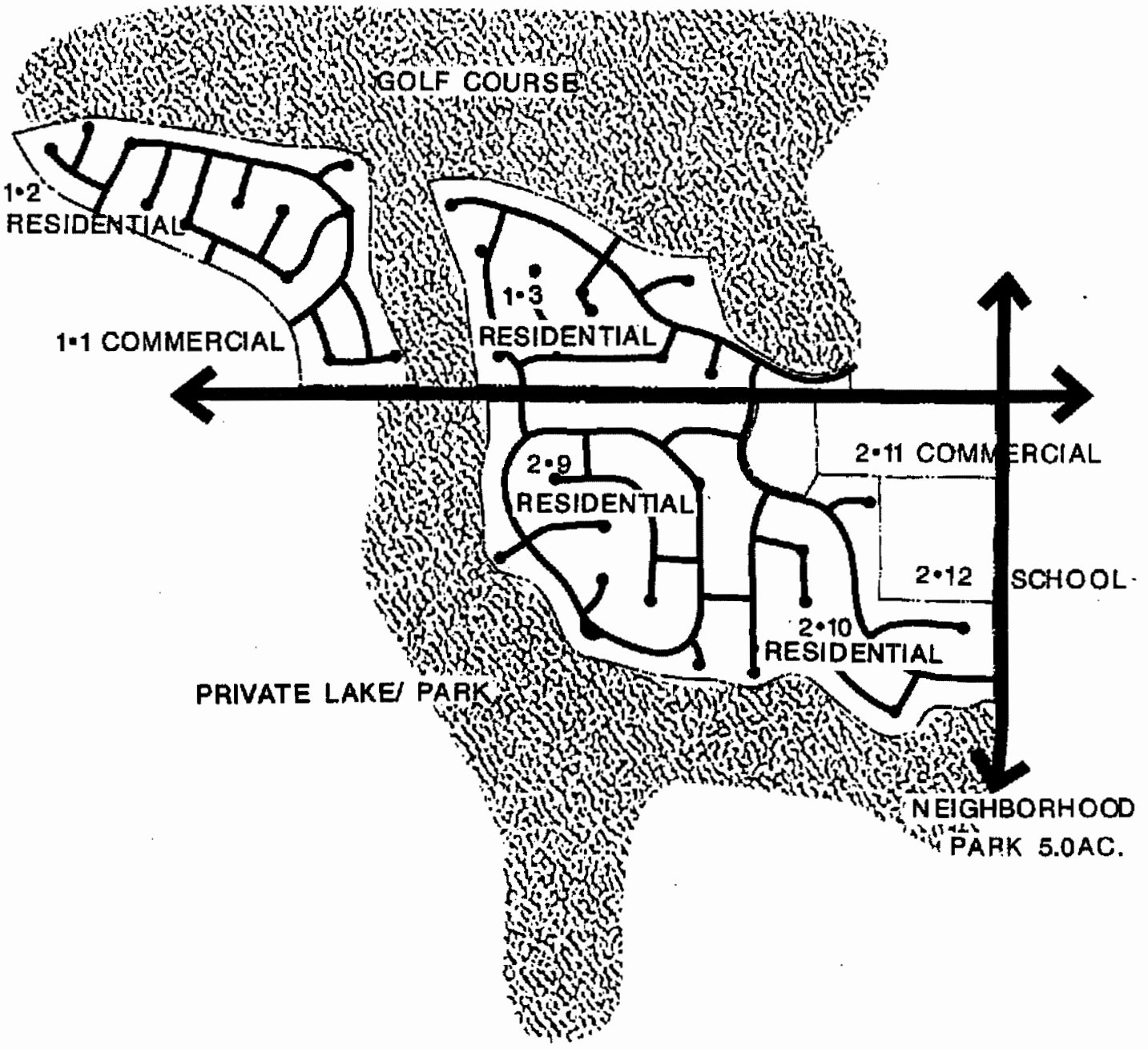


NEIGHBORHOOD AREA CONCEPTS



Figure 59





NEIGHBORHOOD CIRCULATION CONCEPTS



Figure 60



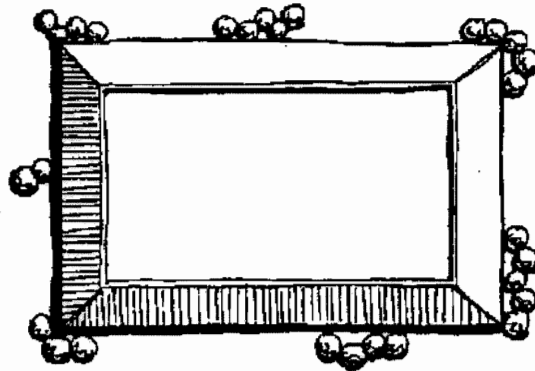
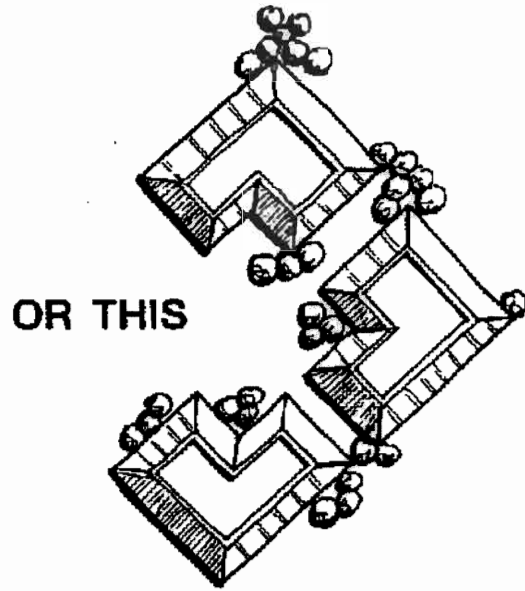
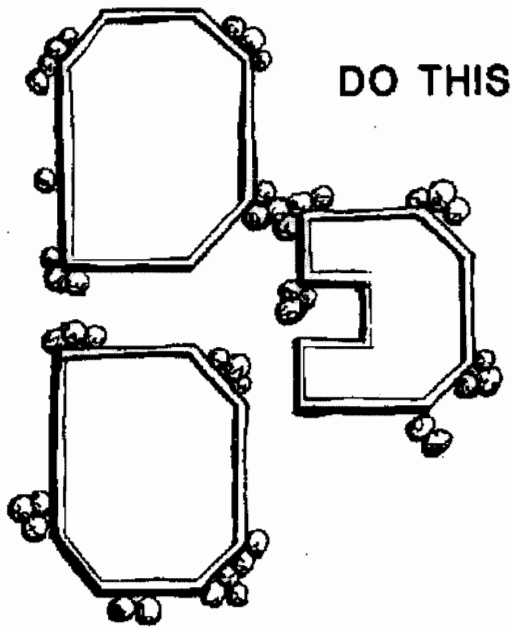
## 2. SITING RESIDENTIAL STRUCTURES

The Menifee Specific Land Use Plan has been designed to stress clustering of residential uses in order to achieve significant and usable open space areas. In return, certain reductions in development standards shall be granted. Clustering of structures in hilly areas makes it possible to preserve steep slopes, rock outcroppings, and views, and also minimizes the need for grading of hillsides. Smaller structures are especially encouraged for use in medium and medium high density residential areas of Menifee. Smaller building units may be clustered into interesting groupings to allow greater flexibility in site layout and preserve valuable open space for use by project residents (See Figure 61, *Very High Density Residential Building Clusters*). Therefore, whenever the situation permits, residential buildings may be organized into clusters of various sizes to provide a greater amount and variety of community open space.

Menifee has been carefully planned in order to maximize open space areas and preserve on-site natural features. When possible, structures should be sited to take full advantage of natural and man-made amenities, breezes, sun and wind orientation, and views. If desired, buildings may be oriented to facilitate the application of solar heating systems.

Residential buildings should be sited so that the spacing between buildings varies; consistent building spacing leads to undesirable repetition. Formal, barrack-like building arrangements should be avoided whenever possible. Streetscapes and open space areas may be made more interesting and diverse by varying building setbacks (See Figure 62, *Residential Building Arrangements*). Residential building facades that face on streets and/or major open space areas shall be highly articulated with multi-family dwelling units having staggered setbacks (See Figure 63, *Primary Building Elevation*). Long, straight, unbroken building facades and stereotypical units that produce monotonous elevations are strongly discouraged in favor of a highly differentiated structure that appears as a cluster of individual homes. Additional variety in building and site design can be introduced by a simple square, rectangle, grid, or triangle design element, particularly in landscape elements.

Figure 64 through Figure 68 illustrate possible site layouts for residential neighborhoods. Plans for low, medium, and medium-high density residential neighborhoods are depicted.



VERY HIGH DENSITY RESIDENTIAL  
BUILDING CLUSTERS



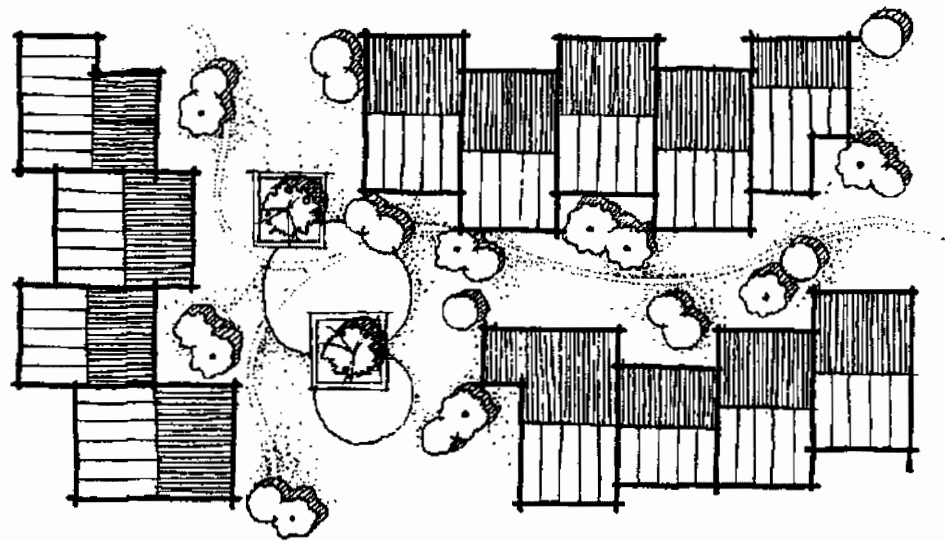
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CALIFORNIA



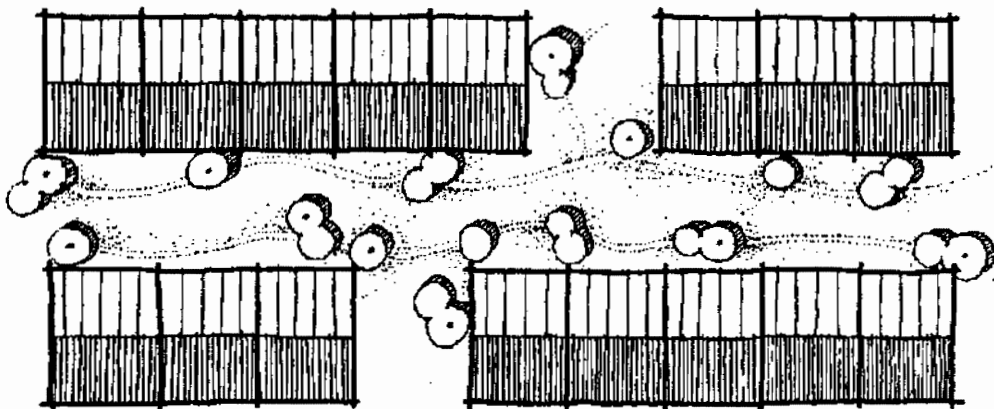
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Figure 61



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## RESIDENTIAL BUILDING ARRANGEMENTS



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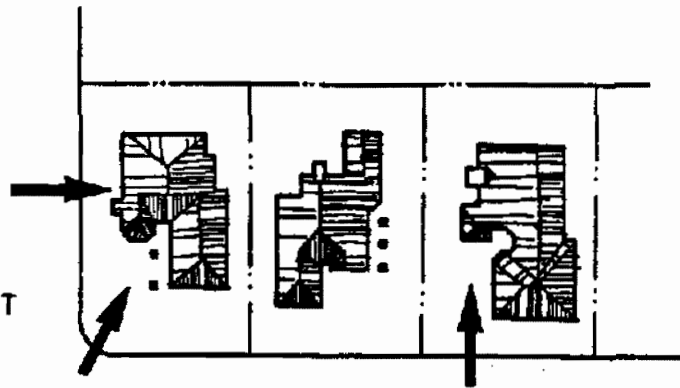


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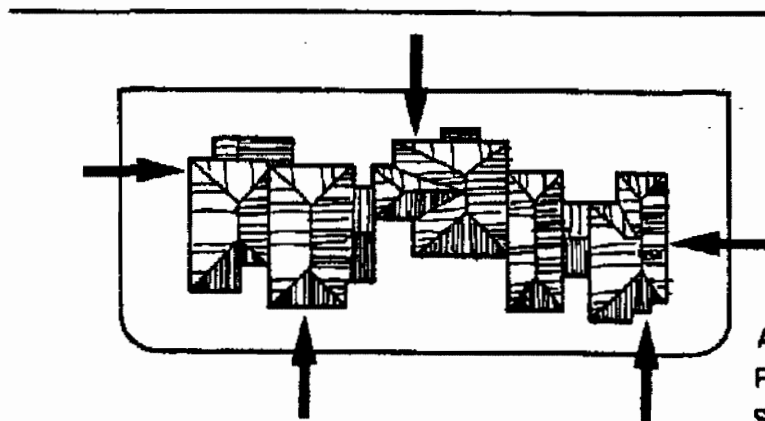
Figure 62

EXTERIOR SIDE  
ELEVATIONS  
REQUIRE  
SPECIAL TREATMENT



FRONT ELEVATIONS REQUIRE  
SPECIAL TREATMENT

**VERY LOW - MED. DENSITY RESIDENTIAL DEVELOPMENTS**



ALL ELEVATIONS  
REQUIRE  
SPECIAL TREATMENT

**HIGH DENSITY RESIDENTIAL DEVELOPMENTS**

PRIMARY BUILDING ELEVATION



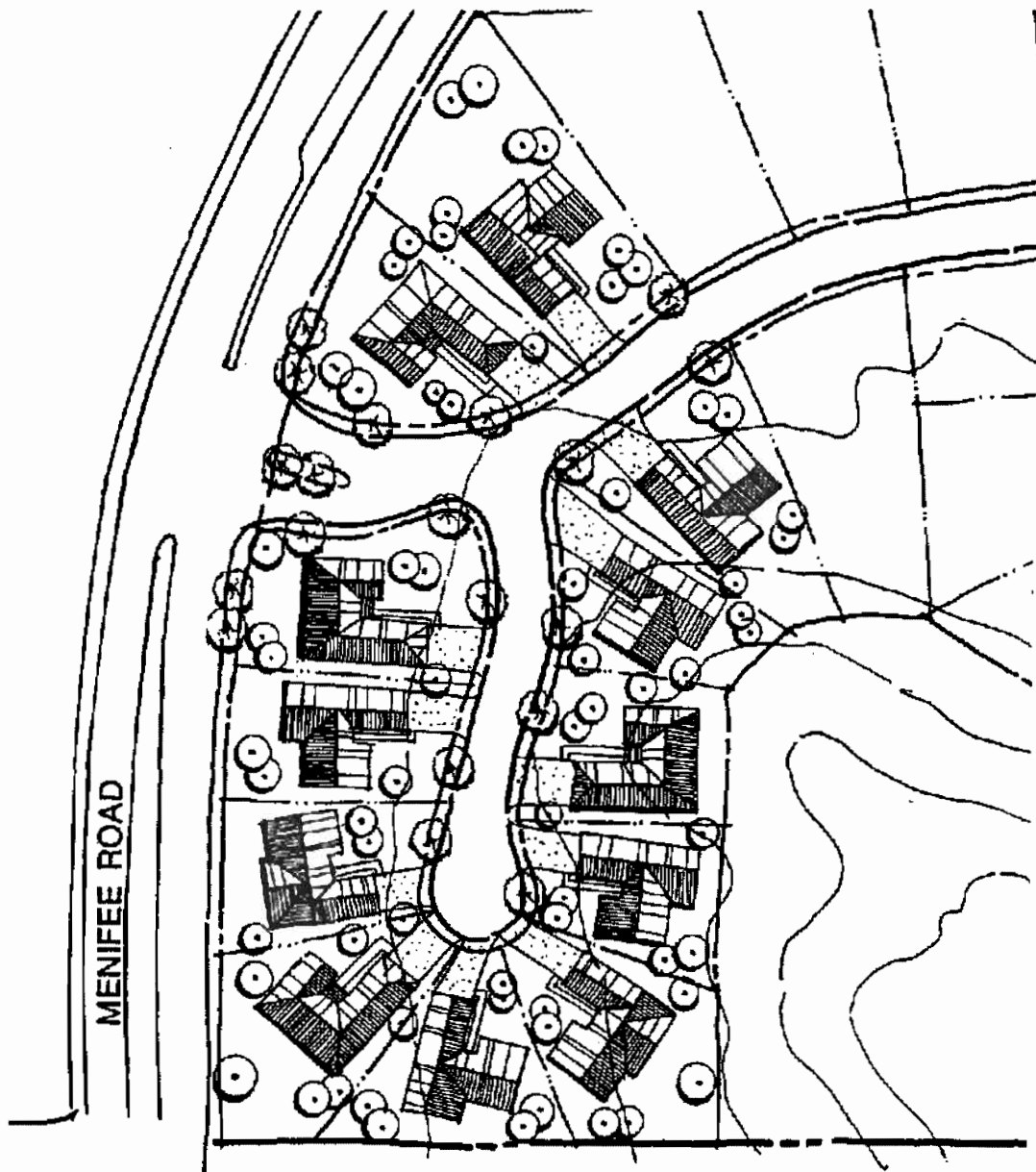
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Figure 63



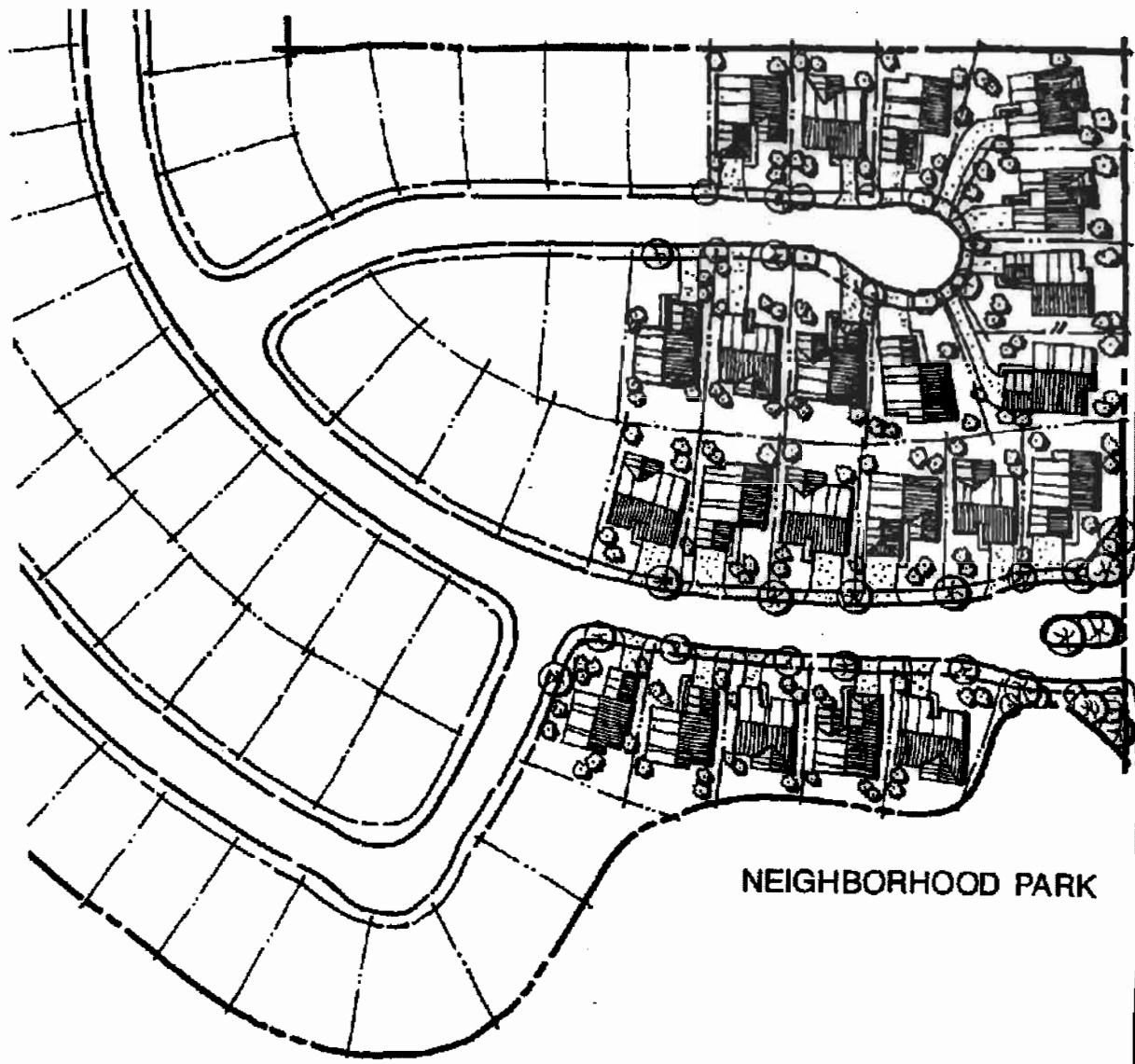
TYPICAL SITE PLAN  
Low Density Residential (Estate Homes)



not to scale



Figure 64



MENIFEE ROAD

NEIGHBORHOOD PARK

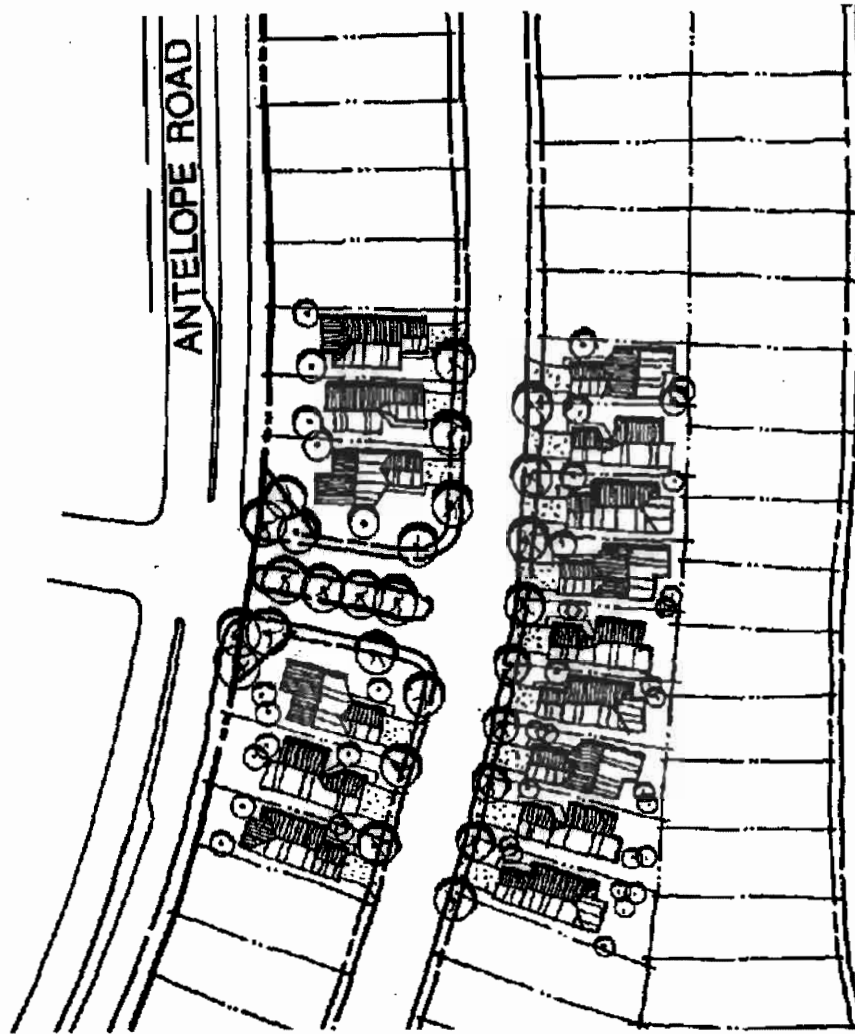
TYPICAL SITE PLAN  
 Medium Density Residential (Ranch Homes)



not to scale



Figure 65

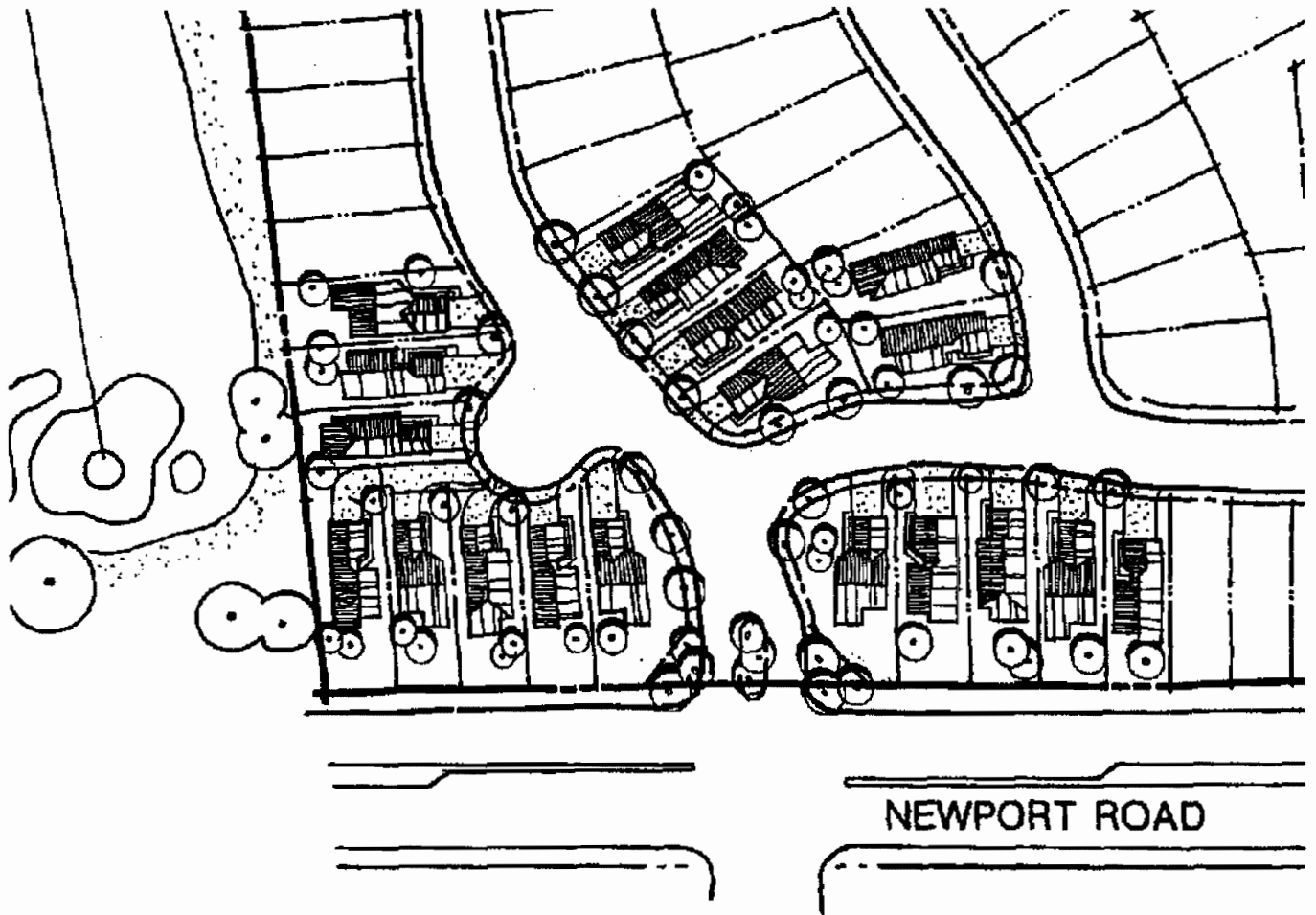


TYPICAL SITE PLAN  
Medium-High Density  
Residential (Cottage Homes)



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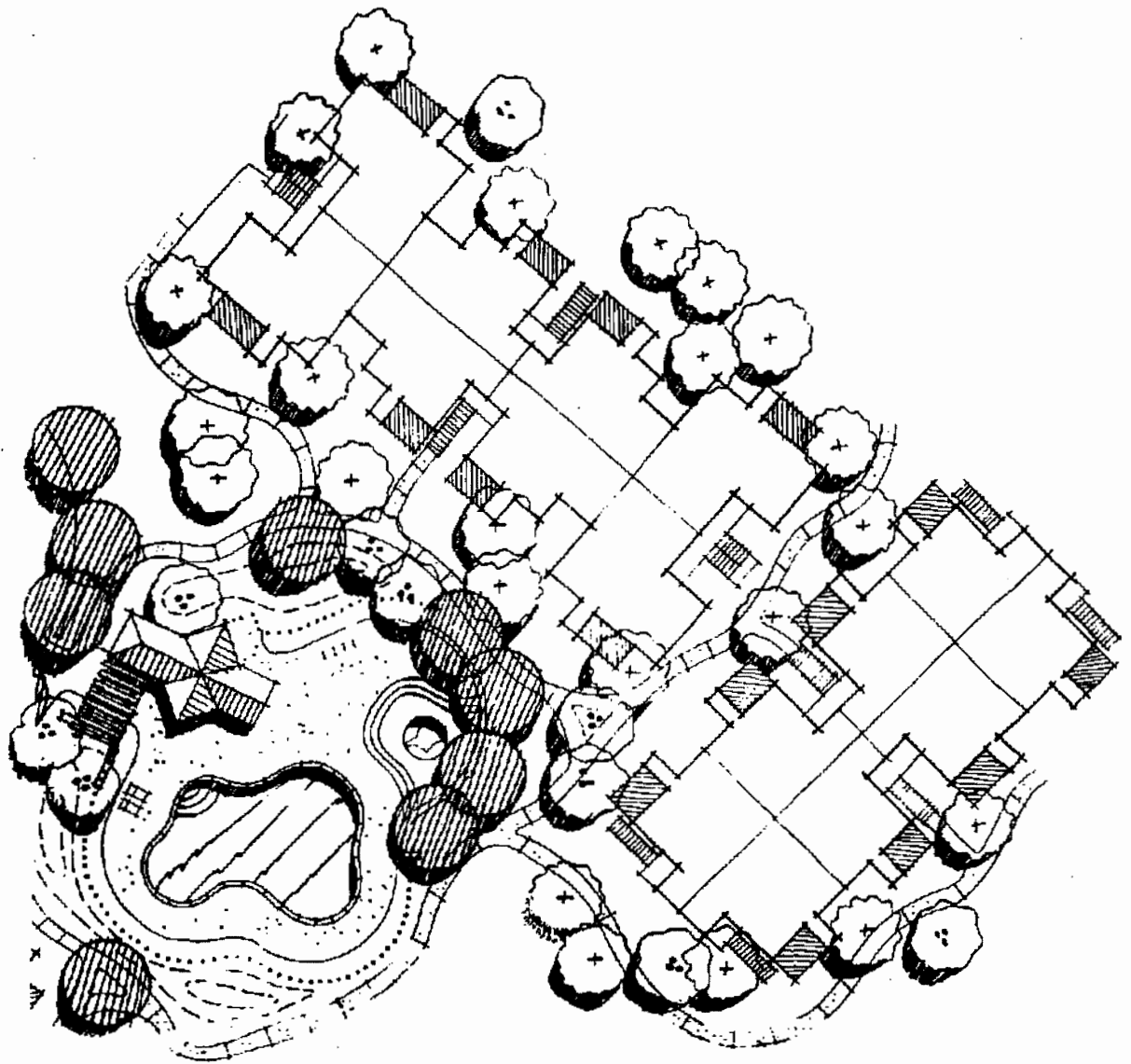
TYPICAL SITE PLAN  
 Medium-High Density  
 Residential (Single Family Detached)



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Figure 67



TYPICAL SITE PLAN  
Very High Density  
Residential (Apartments)



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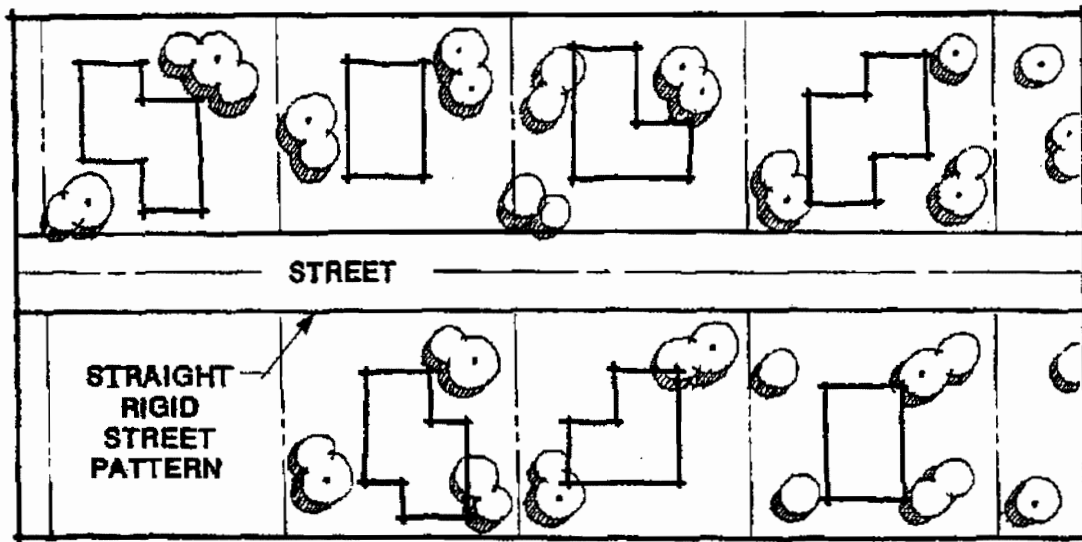


Figure 68

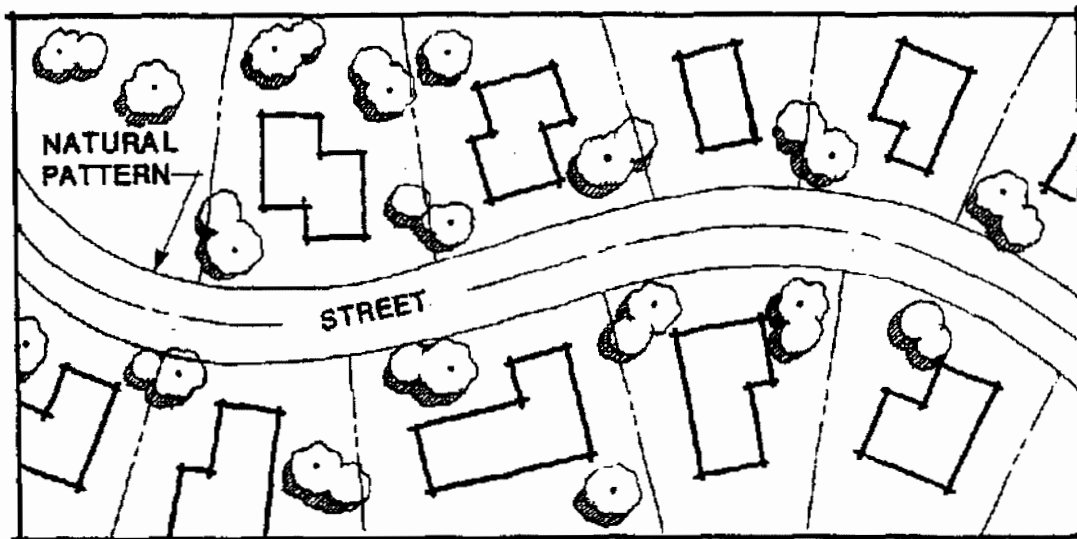
### 3. PLANNING STREET SYSTEMS

The Roadway Circulation Plan (Figure 7) for Meniffee shows an easily recognizable hierarchy of streets (See Figure 8 and Figure 9 for Arterial Highways, Major Highways, Secondary Roads, Collector Roads, and Local Roads). The proposed street system will ensure easy motorist comprehension of the street system layout, thereby facilitating vehicular flow in the community.

- a. Ninety (90) degree bends should be avoided in Collector Roads whenever possible. Streets should be fluid and flowing. Curvilinear streets can be used to provide visual interest (See Figure 69.)
- b. Neighborhood entries should include landscaped entry medians with appropriate signage and lighting.
- c. Safe and efficient bike lanes and pedestrian paths should connect primary project area streets (e.g. Meniffee Road, Newport Road) and residential neighborhoods with the lake amenity and the Sports Park. See Figure 10 and Figure 11 for typical bike path sections.



NOT THIS



DO THIS

STREET LAYOUTS



**MENIFEE**  
CALIFORNIA



not to scale



Figure 69

#### 4. ACCESSORY STRUCTURES

Patio covers, greenhouses, storage sheds, and other ancillary structures shall be located and designed to preserve the views and other special conditions of adjacent properties. In residential areas, accessory structures are permitted in side and rear yards, but strictly prohibited in front yards. When an accessory structure is constructed in a residential side yard, a six (6) foot high side yard privacy fence shall be constructed to help screen the structure.

All accessory structures shall be designed and constructed to reflect the scale, architectural style, and materials of adjacent major buildings. Said structures shall be of similar and compatible materials/color as the main building structure to which it is adjacent or attached. There is no required minimum roof pitch for accessory structures; a variety of roof types (including flat roofs) are permitted in all zones.

#### 5. LOADING SPACE

In addition to Section 18.13 of Ordinance No. 348 of Riverside County, the following provisions shall apply to all loading and service areas for commercial, public, and semi-public uses in Menifee.

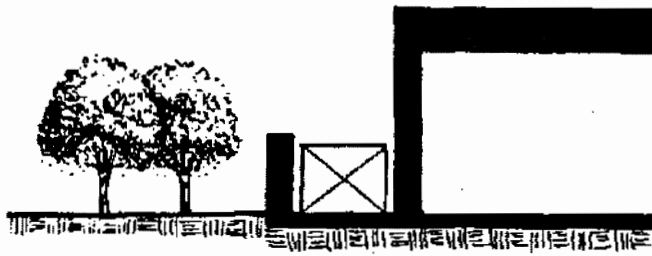
- a. If a loading area in a commercial area faces a street, the loading area shall be set back a minimum of seventy (70) feet from the street and shall be screened from view from adjacent streets by opaque walls, fences, and/or landscaping. All walls and fences shall be constructed of materials, colors, and textures that relate to the surrounding architectural styles.
- b. All loading areas bordering residential uses or open space or schools, shall be set back a minimum of twenty-five (25) feet from the adjacent property line and a six (6) foot high solid masonry wall shall be constructed on the property line.

#### 6. OUTDOOR STORAGE/EQUIPMENT AREAS

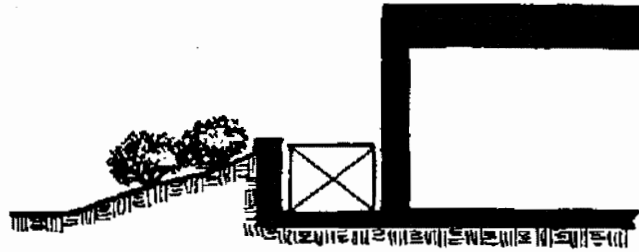
The following provisions shall apply to all loading and service areas in Menifee:

- a. Storage areas, equipment, and mechanical devices shall not be located in any required setback area or side yard except for electrical or telephone equipment installed by the utilities.
- b. Air conditioning equipment may be located in rear or side yards, but shall be screened from view from any public street or adjacent public open space area by landscaping, walls, or fences (See Figure 70).
- c. Screening shall be provided so that materials stored in the area and/or equipment at grade or on the roof are screened from view from all adjacent streets and properties at the same grade by structures, walls or fences, or landscaping (See Figure 70 and Figure 71).

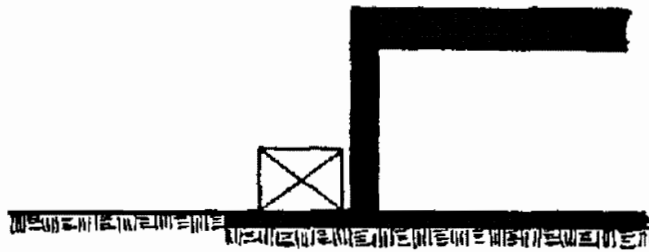
- d. Accessory structures in residential areas are permitted in side yard and rear yards only. No accessory structures shall be constructed in any front yard setback area, unless specifically required by electric, gas, or other utility company.



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EQUIPMENT SCREENING

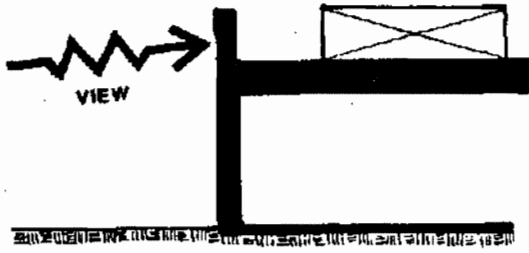


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CALIFORNIA

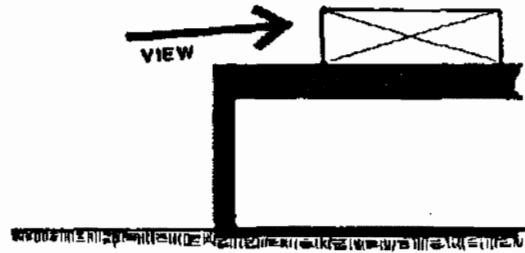
Figure 70



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## ROOFTOP SCREENING



**MENIFEE**  
CALIFORNIA



not to scale

Figure 71

## 7. GRADING SLOPES

The community of Menifee is located in a predominantly flat, semi-arid landscape punctuated at its edges by small, roundish, treeless hills. Much of the natural topography has been modified by agricultural operations and is no longer in a natural state. Only the hillsides retain the native coastal scrub vegetation. The hillsides are one of the few natural amenities existing on the project site. Therefore, it is highly desirable to retain these hillsides in their natural condition. The community has been planned to minimize hillside grading; areas of hilly terrain have been designated for Very Low Density Residential and open space development. The following provisions are designed to preserve these hillsides as close to their existing condition as possible:

### a. **Grading in Residential and Community Open Space Zones.**

- Grading and reshaping of the natural terrain in all hillside areas (Low Density Residential and Community Open Space Zones) shall be minimized, particularly those areas with slopes in excess of twenty-five (25) percent.
- Whenever possible, slopes shall be retained in their existing, natural state.
- When complete preservation of a hillside area is unfeasible or impractical, the grading shall be kept to the absolute minimum necessary to accommodate structures, parking, and accessory facilities.
- All final slopes in Low Density Residential and Community Open Space areas shall be contour graded wherever possible to form flowing, natural-appearing slopes, rather than harsh, angular, engineered slopes. The angle of the graded slope shall be blended gradually into the natural topography. For additional requirements for hillside grading, refer to the County of Riverside Hillside Development Standards.

### b. **All Zones.**

- All developments shall be designed to follow, or flow with the natural contours of the site. Natural floodways, drainage channels, slopes in excess of twenty-five (25) percent, and seismic fault zones MAY NOT be built upon and shall be designated as permanent open space.
- Density transfers within Low Density Residential Planning Areas are permitted to compensate for the loss of buildable area due to implementation of the Hillside Development Standards of Riverside County. The Menifee Specific Plan provides the appropriate density range.
- Earth berms are encouraged to provide visual relief from the flatness of the site, as well as physical separation between vehicular and pedestrian traffic.