

## **K. RESIDENTIAL ARCHITECTURAL DESIGN CRITERIA**

### **1. Introduction**

The goal of RANCHO BELLA VISTA is to facilitate residential projects which exhibit excellence in design and provide a variety of housing opportunities. It is envisioned that the architecture for these villages will be created through thoughtful analysis and sensitive consideration of the development's theme and the constraints, opportunities, and characteristics of each village pursuant to the following guidelines. Each village shall provide diversity in design through considerate attention to architectural character and floor plan livability. Architectural diversity should be created by manipulating building materials, colors, and textures, in conjunction with architectural features (e.g. roofs, windows, doors, fascias, trim), rather than by designing buildings that vary greatly in architectural styles. All architecture shall enhance and enrich the community theme.

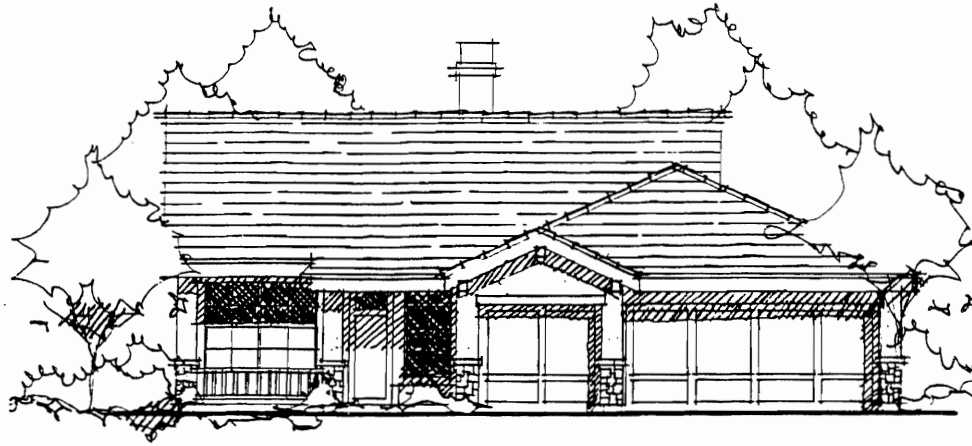
### **2. Architectural Concept**

Architecture within RANCHO BELLA VISTA shall evoke early California heritage by utilizing materials, forms and color that have evaluated over time in the Southern California region. Each village and/or neighborhood in RANCHO BELLA VISTA should have a distinctive architectural product type and/or style associated with it. This will ensure that each residential development within RANCHO BELLA VISTA will have a strong, coherent identity resulting in an aesthetically pleasing community. Possible architectural product types and/or styles are illustrated in Figures IV-24 through IV-26. The preceding descriptions and referenced graphics provide an overview of the general architectural styles desired for RANCHO BELLA VISTA. Again, it should be emphasized that individual character and interpretation are encouraged, but the following standards and guidelines should be followed to achieve the overall design theme.

### **3. Building Mass, Form, and Scale**

Buildings in RANCHO BELLA VISTA, as a general rule, should be designed low to the ground and blend in with their surroundings (see Figure IV-27, *Architectural Design Elements - Residential*). The apparent mass of buildings should be reduced through the following techniques:

- Reduce large expanses of flat walls.
- Utilize projections and recesses to provide shadow and relief at exterior walls and roof areas.
- Patio walls and balconies should be used to break up exterior walls.



SOURCE: The M<sup>c</sup>Kinley Associates, Inc.

NOTE: The above renderings are conceptual in nature and are not intended to represent actual architectural product types.

Figure IV-24

## CONCEPTUAL ELEVATION- MEDIUM DENSITY

# Rancho Bella Vista

Pacific Bay Homes  
2300 Boswell Road, Suite 209, Chula Vista, Ca 91914

IV-49



SOURCE: The M<sup>c</sup>Kinley Associates, Inc.

NOTE: The above renderings are conceptual in nature and are not intended to represent actual architectural product types.

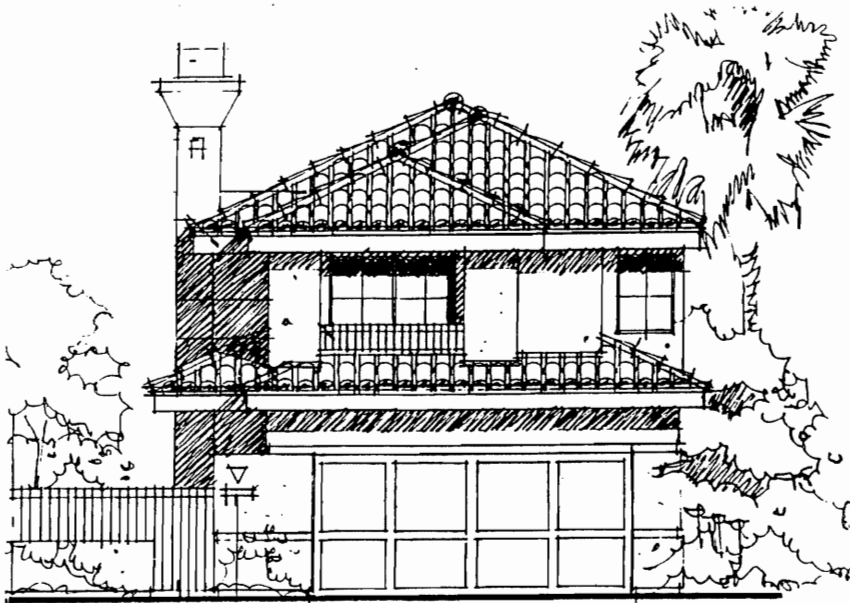
Figure IV-25

## CONCEPTUAL ELEVATION- MEDIUM DENSITY

# Rancho Bella Vista

Pacific Bay Homes  
2300 Boswell Road, Suite 209, Chula Vista, Ca 91914

IV-50



SOURCE: The M<sup>c</sup>Kinley Associates, Inc.

NOTE: The above renderings are conceptual in nature and are not intended to represent actual architectural product types.

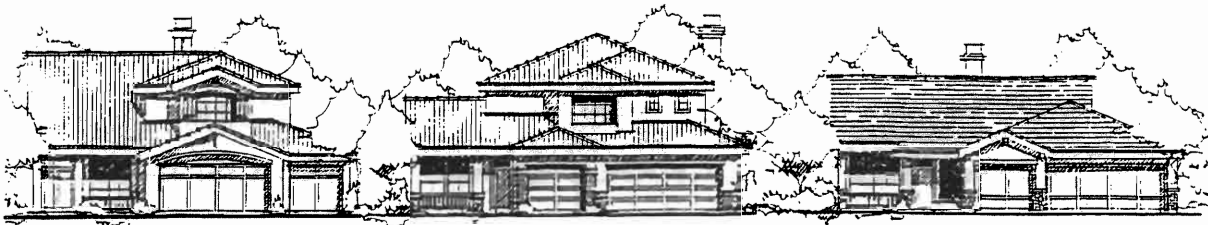
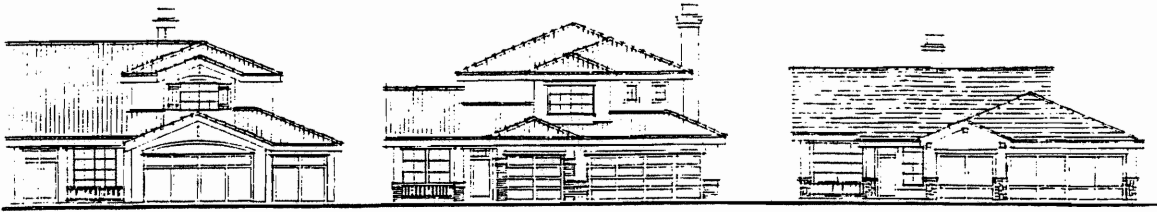
Figure IV-26

# Rancho Bella Vista

## CONCEPTUAL ELEVATION- MEDIUM HIGH DENSITY

Pacific Bay Homes  
2300 Boswell Road, Suite 209, Chula Vista, Ca 91914

IV-51



SOURCE: The M<sup>c</sup>Kinley Associates, Inc.

NOTE: The above renderings are conceptual in nature and are not intended to represent actual architectural product types.

Figure IV-27

# Rancho Bella Vista

## ARCHITECTURAL DESIGN ELEMENTS - RESIDENTIAL

Pacific Bay Homes  
2300 Boswell Road, Suite 209, Chula Vista, Ca 91914

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- Combine one and two-story architectural elements.
- Utilize one-story edging on two story elements.
- Provide overhead structures at entries.
- Use simple roof forms, provide interest by jogging the rooflines, varying plate lines and roof heights.
- Maintain a strong indoor/outdoor relationship.
- Windows and doors should be recessed to provide depth. Accent trim and color, divided window lights, and raised panels are examples of detailing that provide individuality and interest. Awnings are permitted if they are consistent with the overall architectural style of the building. Metal awnings are prohibited.
- Garage doors are a major visual element. Because garages are a major element in most structures, garage doors shall be fully integrated into design of the architecture. They should be simple in design and recessed from adjacent walls. Applied decoration should be minimized, but accent colors are encouraged to complement the architecture and to provide visual variety along streetscapes. Staggered setbacks, attached garages, and side-loaded garages are encouraged to further vary the streetscape.
- Balconies are encouraged to break up wall masses, and to take advantage of views and paseos and the surrounding Box Spring Mountains. Chimneys should be used as an architectural form but should be simple in design. Materials should match those used on the main buildings. Awnings are permitted if they are consistent with the overall architectural style of the building. Metal awnings are prohibited.
- Project walls and fencing are discussed elsewhere in this Manual; however, private walls and fencing should be consistent with community wall themes and compatible with the architectural style of the buildings. Foreground plantings, vines, and espaliers are strongly encouraged to soften long stretches of walls and fencing.
- Mechanical equipment such as air conditioning equipment, soft water tanks, gas meters and electric meters should be screened from public view from project streets or the paseos.
- Gutters and downspouts should be concealed or, if exposed, designed as a continuous architectural feature painted to match the adjacent building surface. All flashing, sheet metal, vent stacks and pipes shall be painted to match the adjacent building surface. Skylights should be designed as an integral part of the roof. Their location and color should relate to the building. Solar panels are encouraged and should be integrated into the roof design, flush with roof slopes. Frames should be colored to complement the roof. Support solar equipment shall be enclosed and screened from view.

- ❑ Patio trellises, pergolas and other exterior structures are encouraged to soften building masses, provide shade and define spaces. As with main buildings, clean forms are encouraged utilizing materials and colors complementary to building architecture and project design themes.

#### **4. Building Elevations**

It should be assumed that buildings facing streets, project entries, and major open spaces in RANCHO BELLA VISTA will be seen from all angles and therefore will need to be well-detailed and distinctly articulated. Special priority should be given to front and side elevations of structures located on corner lots, and also to rear facades that can be seen above community walls adjacent to open space areas (see Figure IV-28, *Rear Elevation Articulation*). Likewise, major rear and side building entrances should receive treatment similar to front/main building entrances. In addition, long stretches of unbroken exterior walls are discouraged in favor of articulated elevations with projections, recesses, windows, doors, and specialized architectural detailing.

#### **5. Building Materials and Colors**

Building materials and colors shall complement the natural, climatic, and built environment of RANCHO BELLA VISTA. If desired, materials may be left in their natural state and allowed to weather and blend into the natural environment. All materials may be durable and require little maintenance. Large expanses of flat, windowless wall planes that are not articulated by materials or color are discouraged in all zones. Use of widely varying and contrasting materials should be limited. Contrasting materials may be employed in areas in which special emphasis is desired such as building entrances and patios. Masonry and brick may be used to provide vertical and horizontal accents (e.g., chimneys, architectural banding) on buildings.

Paints and stains shall be subdued and limited primarily to soft pastels, neutral colors, grays, and light to medium earth tones with selected contemporary accent colors and pure hues limited to moldings, doors, window frames, fascias, awnings, shutters, cornices, and accent trim. Contrasting materials, textures, and colors may be used to add emphasis to entry areas and significant architectural features. Wood may be treated with transparent stains or paints.

**1) Acceptable Building Materials: All Zones.** Acceptable building materials include, but are not limited to, the following:

- Wood siding, including rough sawn wood.
- Board and batten.
- Concrete, including tinted and stamped concrete.
- Concrete tile roofing.
- Stucco or plaster finish.
- Stucco-covered block, including walls.
- Rock and stone.
- Brick and used brick, in natural browns, tans, beiges, and subdued shades of red.
- Rock and mission tile roofing.



SOURCE: The McKinley Associates, Inc.

NOTE: The above renderings are conceptual in nature and are not intended to represent actual architectural product types.

Figure IV-28

REAR ELEVATION  
ARTICULATION

# Rancho Bella Vista

Pacific Bay Homes  
2300 Boswell Road, Suite 209, Chula Vista, Ca 91914

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2) **Conditionally Acceptable Materials.** Stucco is acceptable in all zones provided that it is integrally incorporated into the architecture on two or more elevations of the structure and is not finished with a heavy texture.

3) **Discouraged Materials: All Zones.** The following list includes building materials that are discouraged but not strictly prohibited for use in RANCHO BELLA VISTA:

- Blue or green tiled roofs.
- Brightly painted steel roofs, excepting painted steel accent trim which is permitted.
- Copper and galvanized.
- Fiberglass.
- Painted brick and stone, excepting stucco-covered masonry and painted concrete block or slump block walls which are permitted.
- Aluminum or vinyl/plastic siding.

## 6. Roofs

Roofs should serve as major structural and architectural design elements. A variety of roof types are permitted and encouraged with RANCHO BELLA VISTA. Roofs shall reflect the selected village, neighborhood, or product type architectural concept and respond to the style, materials and scale of the building. Roof overhangs are encouraged; they provide essential shade and are also aesthetically pleasing. Solar panels and skylights may be installed in all zones of RANCHO BELLA VISTA, provided that they are designed as an integral part of the roof form.

### a. RESIDENTIAL DWELLINGS; PRIMARY/MAJOR STRUCTURES

- A variety of roof types is encouraged including hip roofs, gable roofs, and shed roofs. Roof pitches of 3:12 to 6:12 are permitted.
- Mansard, Gambrel, and flat roofs are not permitted for use in RANCHO BELLA VISTA.
- Roof heights and planes should vary to create interplay between the roof and the walls of the structure.
- Acceptable roofing materials in all residential zones include, but are not limited to, clay tile, concrete tile, and composition shingles.
- Unacceptable roofing material in all residential zones are wood shakes and shingles.

### b. ACCESSORY STRUCTURES

Accessory structures shall have roofs or similar and/or compatible materials as primary/major structure. There is no minimum roof pitch required for accessory structures. Flat roofs on accessory structures are permitted in all zones in RANCHO BELLA VISTA.

### c. ROOFING MATERIALS AND COLORS

Roofing trim materials should be of similar materials and complementary colors. Acceptable materials in all zones include clay and concrete tile. Composition, plastic, and wood roofing materials are prohibited for aesthetic and/or fire safety reasons. Roof vents and appurtenances shall be painted to match the roof color in all Residential Zones.

### 7. Chimneys

Chimneys should act as major vertical elements in the architecture. Caps on chimneys shall have low profiles; they should not be visually distracting. Acceptable building materials include stone veneer, brick (including used brick), stucco, and wood.

### 8. Doors and Windows

By varying the spacing, sizes, shapes and locations of door and window openings in building facades, structures may be made more visually interesting and attractive. However, care must be taken to avoid too much variety or the end result will be a chaotic, cluttered, building facade. It is especially important to vary the placement of doors and windows on buildings located in close proximity to each other in the same development. In addition, windows and doors may be recessed into or projected out of structures to emphasize important areas of the building.

To further enhance the individual identity of each structure, pot shelves, window boxes, and built-in planters may be utilized. However, all such containers must be easily accessible for plant maintenance. Window frames, mullions, and door frames shall be color coordinated with the rest of the building. Decorative wrought iron grills on windows are discouraged. Doors may be somewhat ornate and include inset panels, carvings, and window panes. Pediments should not be used above windows or doors.

### 9. Garages

Garage setbacks may be varied in order to enhance the streetscape scene. Garages shall be constructed of materials compatible with the architectural style of the adjacent primary structures.

### 10. Porches, Arcades and Entryways

Entrances to buildings shall be clear and easily recognizable. Covered entrances, porches, and arcades are desirable because they serve to identify entrances and provide shelter from the sun and inclement weather. A protected entrance is not only functional, but also produces a sense of privacy. Front entrances should be designed as significant architectural features. Porches and entryways may be used to visually break up large, monolithic buildings into smaller units more in keeping with the desired human scale of RANCHO BELLA VISTA. Porches may be used on buildings of two or more stories as a transition from nearby single story structures to other taller structures. Porches may be constructed of wood, stucco, stone, brick, and other similar materials. Wrought iron railings are acceptable.

### 11. Balconies and Overhangs

Balconies and overhangs are desirable elements of a building that provide architectural interest and protection against the sun and inclement weather. Balconies are encouraged for inclusion in medium and medium high density residential areas since they provide residents with necessary outdoor areas and spaces. Balconies and overhangs add visually to structures by breaking up wall masses, offsetting floors, and creating a sense of human scale. Balconies on residential structures in RANCHO BELLA VISTA shall have railings of wood, masonry, decorative metal, and/or stucco. Balcony railings may be solid, if desired. Accent tile may be used in moderate amounts. Pipe railings shall not be allowed in residential areas. In all cases, balconies, overhangs, and arcades shall be designed such that the detailing, form, color, and materials are similar and/or compatible to the main structure.

No balcony shall protrude more than ten (10) feet from any primary wall of a residential structure.

### 12. Refuse Collection Areas

Trash enclosures shall be harmonious with the overall design theme or concept of the development. All trash enclosures shall be constructed in an architectural style similar to adjacent structures and of compatible materials. The following provisions shall apply to all refuse collection areas and trash enclosures in RANCHO BELLA VISTA.

- Refuse collection areas or trash enclosures shall not be located within any required setback areas and shall be screened from off-site views by structures, solid walls or fences, and/or landscaping. Refuse collection areas shall be screened from views from any public street or adjacent residential area.
- Refuse collection area or trash enclosures shall be conveniently accessible to the units/buildings they are design to serve.
- Refuse collection areas and trash enclosures shall be located in such a manner as to minimize noise and odor nuisance.
- Refuse collection areas in parks shall be screened by landscaping, walls, fences, or other architectural features in such a manner as not to be visible from any public street or adjacent residential dwelling.
- Refuse collection areas in all Residential Zones and Quasi-Public Land Use Zone shall be screened with a six-foot high solid fence or wall and have an opaque gate.
- The number of refuse collection bins provided shall meet all County of Riverside policies and codes.