

3. Neighborhood Entry Monumentation

Neighborhood Entries occur where neighborhood streets bisect Pourroy Road and Borel Road (See Figure 4, *Neighborhood Entry Monumentation Plan*). The neighborhood entries convey the overall project identity by repetition of primary and secondary monumentation plant material. Neighborhood entries occur at two (2) conditions: sideyard and rearyards, and are described as follows:

a. NEIGHBORHOOD ENTRY - SIDEYARD CONDITION

- Special neighborhood accent trees.
- Accent planting of flowering shrubs and groundcover matching those used at the primary and secondary entry monumentations.
- Ten foot (10') minimum Landscape Development Zone (LDZ) from streetscene curb to neighborhood theme wall.
- Optional individual neighborhood identification graphics consistent with the overall community thematic identity.
- Low curvilinear community theme sign wall with flowering groundcover and accent shrubs.

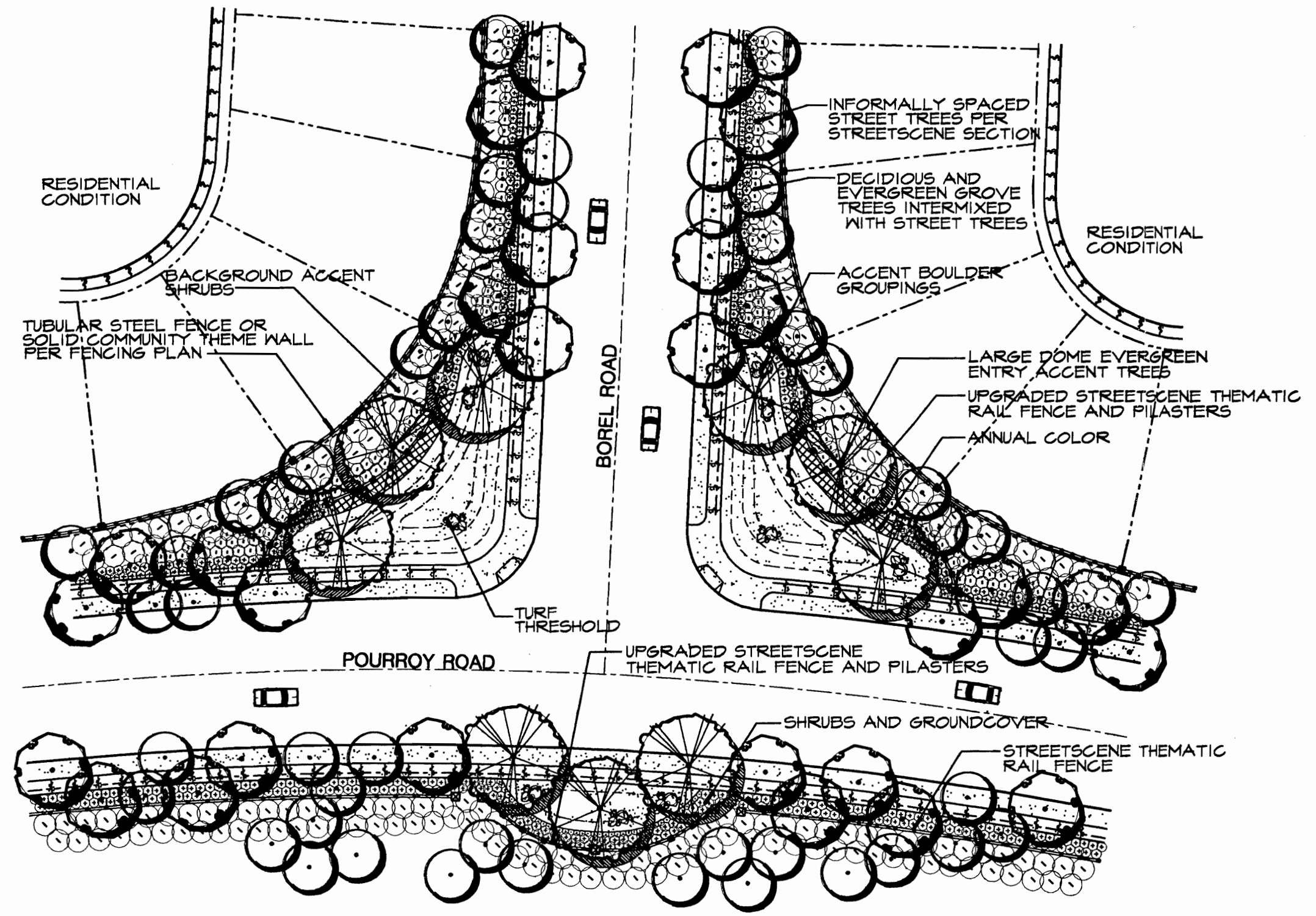
b. NEIGHBORHOOD ENTRY - REARYARD CONDITION

- Uniform curvilinear community theme wall.
- Optional individual neighborhood identification graphics consistent with the overall thematic identity.
- Special neighborhood accent trees.
- Ten foot (10') minimum Landscape Development Zone (LDZ) from streetscene curb to neighborhood theme wall.
- Accent planting of flowering shrubs and groundcover, matching those used at the primary and secondary entry monumentations.

D. COMMUNITY STREETSCENE DEVELOPMENTS

The community streetscene guidelines establish a hierarchy of community streetscene landscape development as well as establishing a framework for consistency of design. The major community streetscenes consist of an Arterial Highway (Murrieta Hot Springs Road), a Secondary Highway (Pourroy Road and Borel Road), Collector Streets (Street "A"), and local streets.

SECONDARY ENTRY MONUMENTATION PLAN



Rancho Bella Vista

Pacific Bay Homes
2300 Boswell Road, Suite 209, Chula Vista, Ca 91914



SECONDARY ENTRY MONUMENTATION ELEVATION

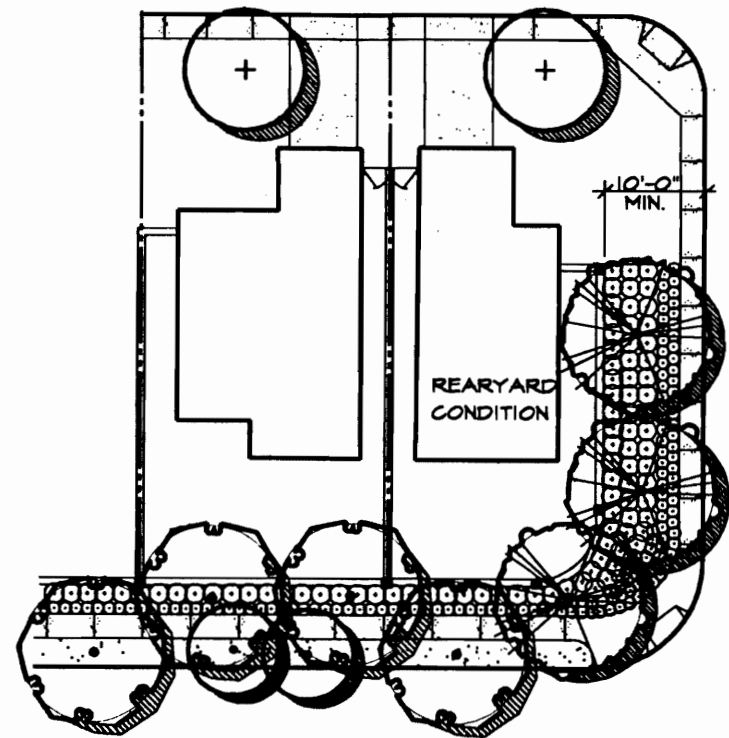


Rancho Bella Vista

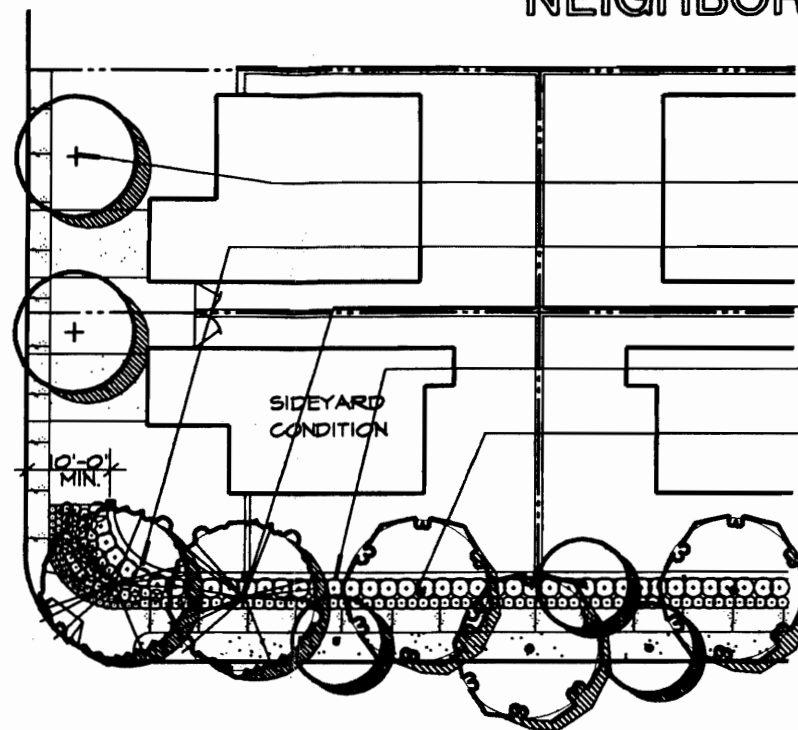
Pacific Bay Homes
2300 Boswell Road, Suite 209, Chula Vista, Ca 91914



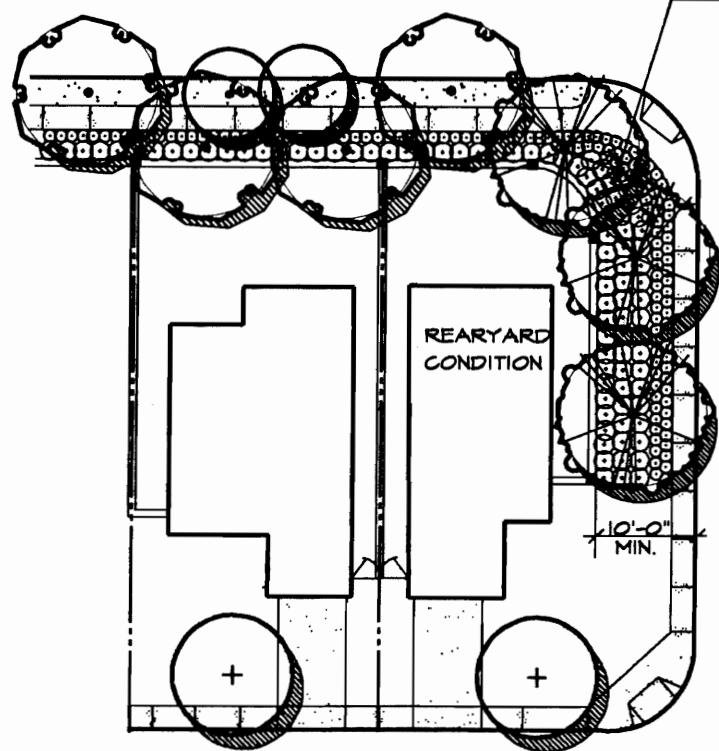
NEIGHBORHOOD ENTRY MONUMENTATION PLAN



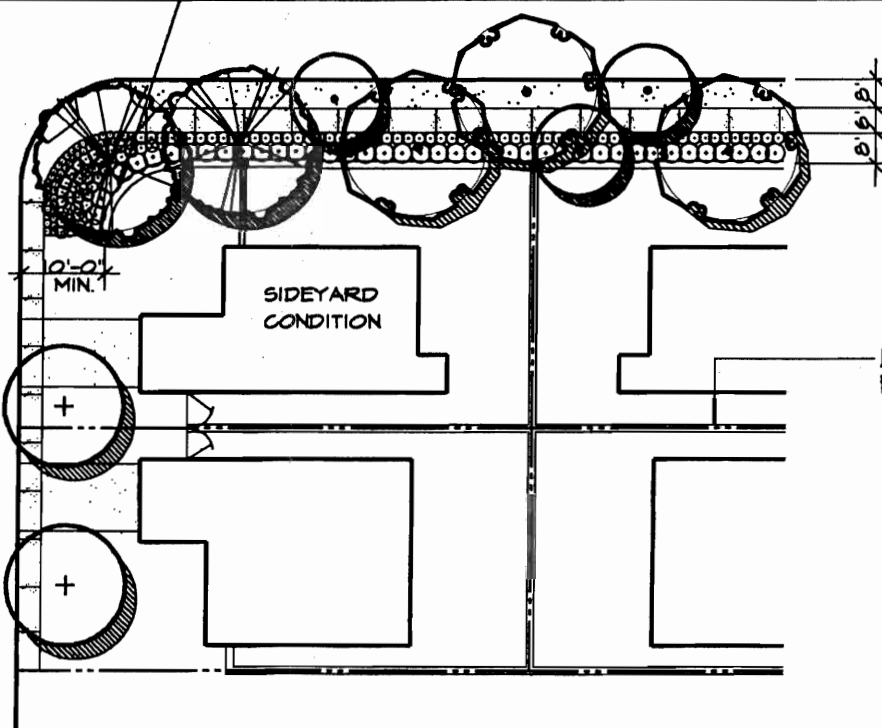
POURROY ROAD AND BOREL ROAD



- NEIGHBORHOOD STREET TREE - SELECTED FROM THE COMMUNITY PLANT PALETTE
- LOW COMMUNITY THEME ENTRY WALL WITH OPTIONAL NEIGHBORHOOD IDENTIFICATION GRAPHICS
- NEIGHBORHOOD ENTRY ACCENT TREE
- COMMUNITY THEME SOLID WALL WITH FILASTERS AT PROPERTY LINES
- STREET TREES PER STREETSCENE SECTIONS



NEIGHBORHOOD STREET



OPTIONAL INDIVIDUAL NEIGHBORHOOD IDENTIFICATION GRAPHICS

WOOD SIDE YARD AND REAR YARD FENCING

Rancho Bella Vista

Pacific Bay Homes
2300 Boswell Road, Suite 209, Chula Vista, Ca 91914



1. Murrieta Hot Springs Road

Murrieta Hot Springs Road is the primary community project entry and is developed with a strong sense of community identity and serves as the first introduction to RANCHO BELLA VISTA. The Murrieta Hot Springs Road streetscene has been designed to accommodate both the interim and the future ultimate (arterial) condition.

Murrieta Hot Springs Road Streetscene at Single Family Residential (Figure IV-6, *Murrieta Hot Springs Road Streetscene at Single Family Residential and Future Development*):

- The interim street tree planting concept for Murrieta Hot Springs Road features two (2) rows of uniformly spaced street trees at forty foot (40') on center spacing with informally spaced evergreen and deciduous grove trees intermixed with the street trees. In the interim condition, permanent street trees will be planted only on the north side of the street and within the median island, which is the current edge of the interim streetscene development. When Murrieta Hot Springs Road is widened to its ultimate width, the street trees and streetscene landscape development on the south side of the street will be installed, completing the ultimate streetscene development.
- The interim and ultimate ground plane landscape development zone treatment on the north side of the street consists of an eight foot (8') wide turf parkway containing the front row of uniformly spaced street trees centered in the parkway. Beyond the streetscene parkway is a six foot (6') wide sidewalk which runs parallel with the street.
- A continuous 2:1 variable width manufactured slope and streetscene thematic rail fence at the toe of slope are planned between the residential lots and the streetscene Landscape Development Zone. As shown in Figure IV-5, the toe of the 2:1 manufactured slope is two feet (2') behind back of sidewalk. Including the 2:1 manufactured slope, the streetscene Landscape Development Zone, the area between the streetscene curb and the solid community theme wall at top of slope, shall be no less than twenty-two feet (22') wide. In addition to the second row of street trees, the 2:1 manufactured slope shall be planted with informally spaced evergreen and deciduous grove trees intermixed with the street trees, with ground plane being planted with accent shrubs and groundcovers.
- In the interim condition, the Murrieta Hot Springs Road median island will be developed to its ultimate width. The permanent shrub and groundcover planting as well as the median island trees will be planted, completing the median island Landscape Development Zone. A temporary streetscene thematic rail fence which runs continuous along the back edge of the median island and an optional temporary marketing signage is also programmed to further introduce the Community Primary Entry Monumentation and to complete the Murrieta Hot Springs Road interim streetscene development. Optional temporary median island landscape improvements (see Figure IV-2) are planned at the intersection of Murrieta Hot Springs Road and Pourroy Road. When Pourroy Road continuation to the south is planned, the temporary median island improvements will be removed and the ultimate

median island improvement constructed. In summary, the Murrieta Hot Springs Road streetscene Landscape Development Zone consists of the following:

- Two (2) rows of uniformly spaced street trees at forty foot (40') on center spacing.
- Evergreen grove trees planted on the 2:1 manufactured slope and intermixed with the street trees.
- Continuous 2:1 manufactured slope (vertical lot separation) planted with accent shrubs and groundcover at residential land uses.
- Streetscene thematic rail fence at toe of slope at residential land uses.
- Solid community theme wall at top of 2:1 manufactured slope at residential land uses.
- Six foot (6') wide sidewalk parallel with the street.
- Eight foot (8') wide turf parkway.
- Community entry monumentation.
- Median island development.

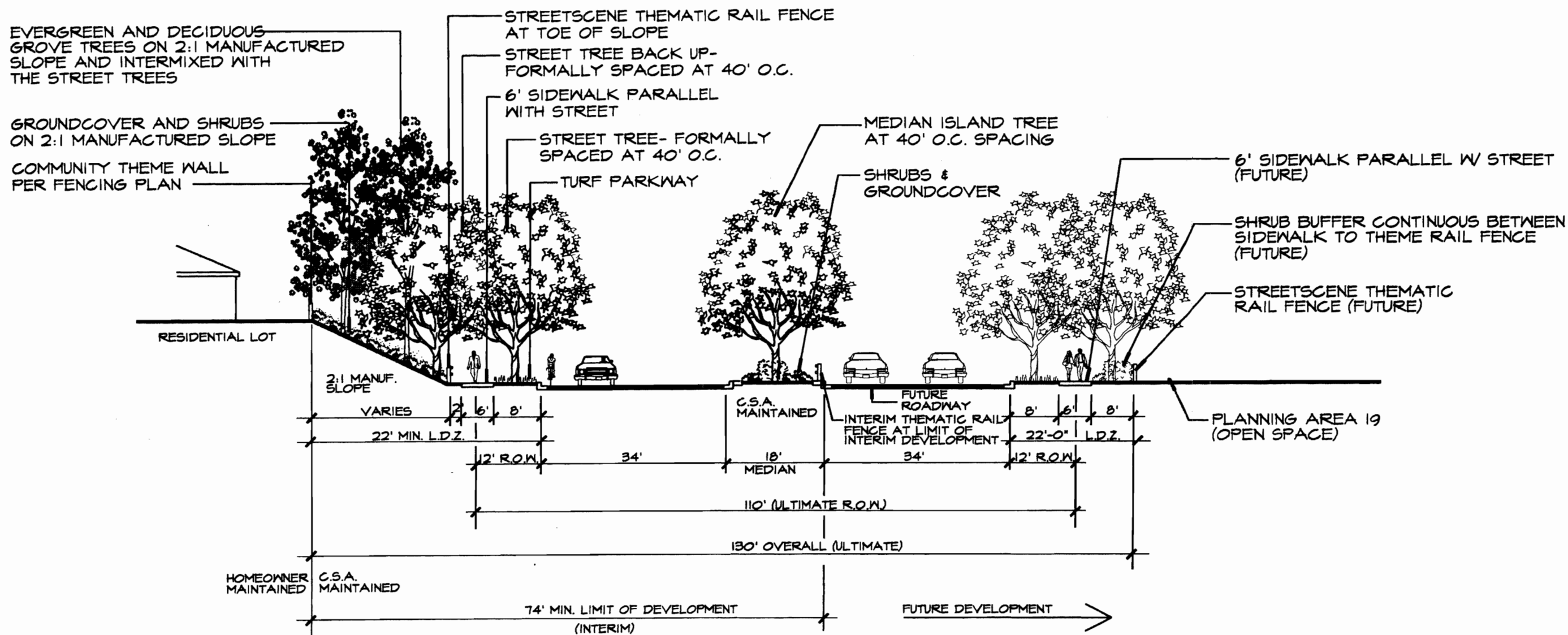
The Murrieta Hot Springs Road Landscape Development Zone and median island development shall be maintained by the CSA or the Homeowners Association.

2. Borel Road and Pourroy Road Streetscene at Residential or School Land Uses - Level Condition

The street tree planting concept for Borel Road and Pourroy Road when single family residential rear yards are adjacent to the streetscene at level conditions, consist of two (2) rows for informally spaced street trees at an average of forty foot (40') on center spacing. In addition to the two (2) rows of street trees, vertical evergreen and deciduous grove trees are randomly spaced between the street trees. (See Figure IV-7, *Borel Road and Pourroy Road Streetscene at Residential or School Land Use-Level Condition*.) The vertical grove trees serve as an additional landscape buffer between the residential rear and side yards and the streetscene.

Figure IV-5, *Deleted*

MURRIETA HOT SPRINGS ROAD STREETSCENE AT SINGLE FAMILY RESIDENTIAL AND FUTURE DEVELOPMENT

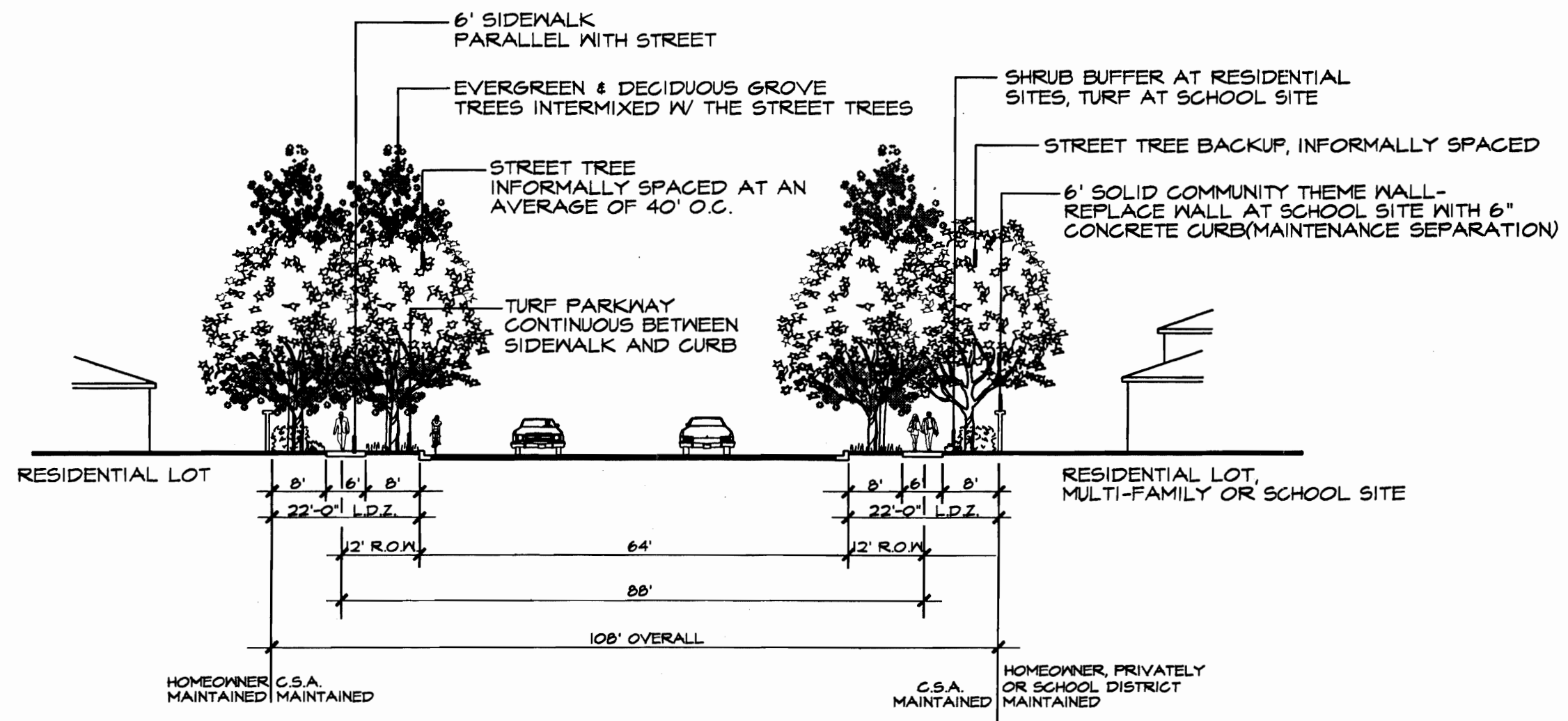


Rancho Bella Vista

Pacific Bay Homes
2300 Boswell Road, Suite 209, Chula Vista, Ca 91914



BOREL ROAD AND POURROY ROAD STREETSCENE AT RESIDENTIAL AND MULTI-FAMILY OR SCHOOL LAND USE-LEVEL CONDITION



Rancho Bella Vista

Pacific Bay Homes
2300 Boswell Road, Suite 209, Chula Vista, Ca 91914



Where a school is adjacent to the Pourroy Road streetscene development the two (2) rows of informally spaced street trees shall remain in the Landscape Development Zone to continue the Pourroy Road street tree planting theme. However, the quantity of vertical grove trees may be reduced or eliminated. The ground plane treatment consists of a twenty-two foot (22') wide Landscape Development Zone measured from the curb face to the streetscene thematic theme wall. A six foot (6') wide concrete sidewalk is separated from the curb by an eight foot (8') wide turf parkway. On the opposite side of the sidewalk is eight feet (8') of additional landscaping. This remaining eight feet (8') landscape buffer is planted with a combination of groundcover and shrubs or turf at the school. The Landscape Development Zone will be maintained by either the CSA or the Homeowner Association.

3. Pourroy Road Streetscene at Single Family Slope Condition and Biological Preserve

The streetscene planting concept where a streetscene slope or biological preserve are adjacent to the streetscene Landscape Development Zone is consistent with the streetscene development at single family residential as described above, with the following addition: additional evergreen and deciduous grove trees are randomly spaced on the 2:1 manufactured slope and a thematic streetscene rail fence added continuously along the edge of the biological preserve. (See Figure IV-8, *Pourroy Road Streetscene at Single Family Residential Slope Condition and Biological Preserve.*)

The ground plane treatment adjacent to the biological preserve consists of a twenty-two foot (22') wide level Landscape Development Zone, matching that at the single family residential land uses.

The biological preserve shall remain as natural as possible, with necessary grading kept to a minimum. Areas that have been graded shall be revegetated with native grasses and shrubs to match and blend in with the existing undisturbed natural vegetation.

Where a variable height 2:1 manufactured exists between the streetscene Landscape Development Zone at the single family residential lots, the 2:1 manufactured slope may encroach into the twenty-two foot (22') wide LDZ to within two feet (2') of the streetscene sidewalk. In any case, the Landscape Development Zone shall be not less than twenty-two feet (22') wide from the streetscene curb to the community theme wall or fence at top of slope. The eight foot (8') side turf parkway and six foot (6') sidewalk shall be consistent with other streetscene sections occurring along Pourroy Road.

4. Pourroy Road Streetscene at Drainage Corridor Crossing

The streetscene planting concept when Pourroy Road crosses the drainage corridor features the same twenty-two foot (22') wide Landscape Development Zone, streetscene thematic rail fence and ground plane planting as described in other Pourroy Road streetscene sections. (See Figure IV-9, *Pourroy Road Streetscene at Drainage Corridor Crossing.*)

The streetscene evergreen and deciduous grove trees are replaced with riparian grove trees at this location to continue and reinforce the riparian grove trees along the channel edge.

At the back edge of the Landscape Development Zone, on the up-stream side of the drainage corridor a concrete slope lining, concrete head wall and guardrail are planned. On the down stream side the 2:1 manufactured slope is planted with spreading shrubs and randomly spaced riparian grove trees. The Pourroy Road streetscene Landscape Development Zone features the following:

- Informally spaced street trees at an average spacing of forty foot (40') on center.
- Informally spaced street tree backup.
- Riparian, evergreen and deciduous trees intermixed with the street trees.
- Eight foot (8') wide turf parkway.
- Six foot (6') wide sidewalk parallel with the street.
- Eight foot (8') wide minimum landscape buffer between sidewalk and community theme wall or top of slope.
- Community theme wall at back edge of the LDZ at residential land uses, per the fencing plan.
- Streetscene thematic rail fence at back edge of the LDZ at open space or the biological preserve land uses.
- A hierarchy of entry monumentation.
- Twenty-two foot (22') minimum width Landscape Development Zone.

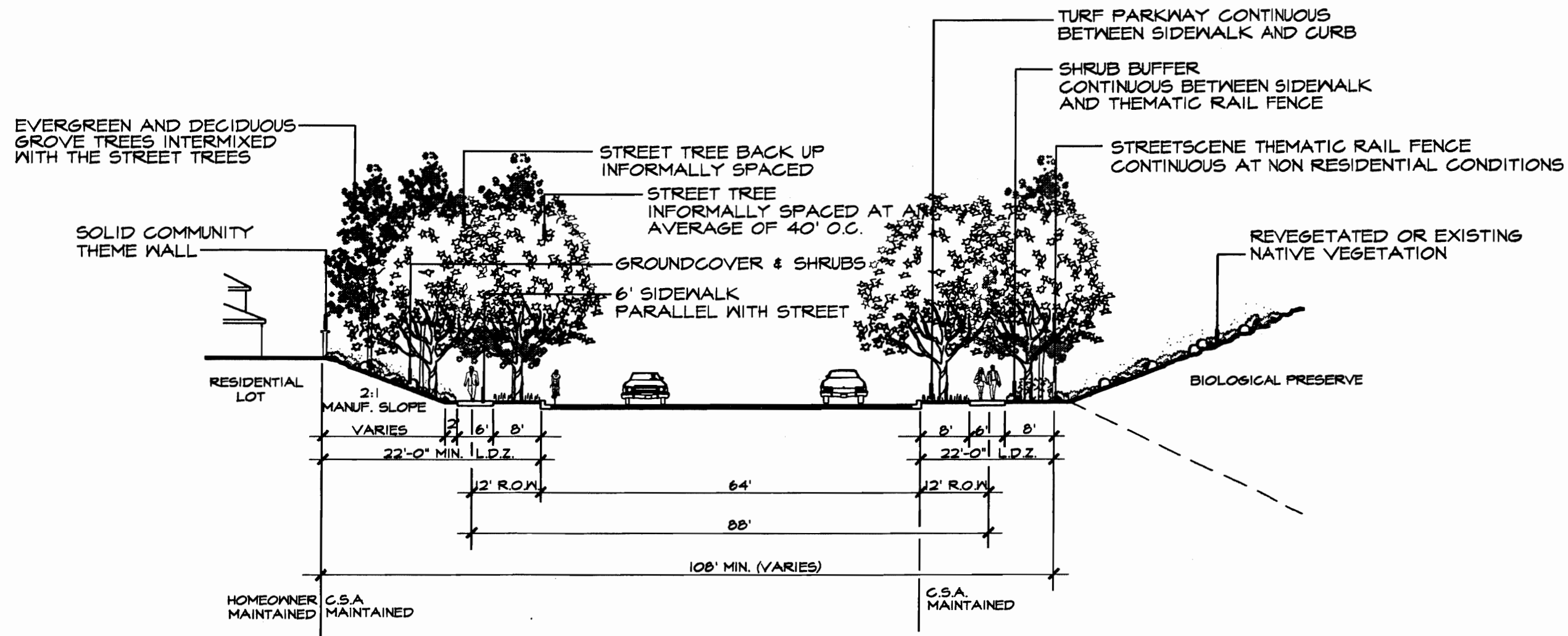
The Pourroy Road and Borel Road Landscape Development Zone will be maintained by the CSA or the Homeowners Association.

5. Street "A" Streetscene at School and Park

The streetscene along Street "A" when adjacent to the school consists of two (2) rows of informally spaced street trees at an average of forty feet (40') on center spacing (See Figure IV-11, *Typical Collector Streetscene at School and Park*). In addition to the street trees, evergreen and deciduous grove trees may be intermixed with the street trees, integrating with the final school configuration.

The ground plane treatment consists of a six foot (6') wide sidewalk separated from the streetscene curb by an eight foot (8') wide turf parkway. Behind the sidewalk an eight foot (8') wide turf parkway completes the twenty-two foot (22') wide Landscape Development Zone. A six inch (6") wide concrete maintenance separation curb at the back of the LDZ separates the CSA maintained areas from areas maintained by the local school district.

POURROY ROAD STREETSCENE AT SINGLE FAMILY RESIDENTIAL SLOPE CONDITION AND BIOLOGICAL PRESERVE

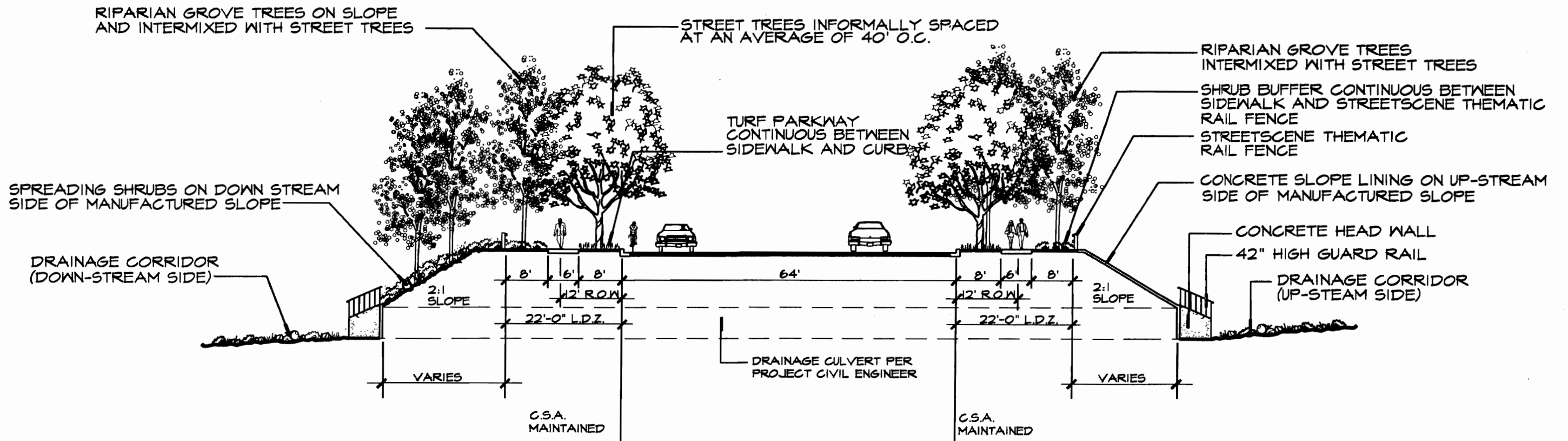


Rancho Bella Vista

Pacific Bay Homes
2300 Boswell Road, Suite 209, Chula Vista, Ca 91914



POURROY ROAD STREETSCENE AT DRAINAGE CORRIDOR CROSSING



Rancho Bella Vista

Pacific Bay Homes
2300 Boswell Road, Suite 209, Chula Vista, Ca 91914



When Street "A" is adjacent to Planning Area 13 active park, the park development continues to the streetscene curb. Incorporated as part of the park landscaping, the designated street tree for Street "A" shall be the dominate park tree along the Street "A" park frontage.

The park, including the streetscene Landscape Development Zone shall be maintained by the park and recreation district or the CSA.

The Street "A" streetscene Landscape Development Zone consists of the following:

- Informally spaced street trees at an average spacing of forty foot (40') on center.
- Optional evergreen and deciduous grove trees at the school site.
- Eight foot (8') wide turf parkway on each side of the streetscene sidewalk at the school site.
- Six foot (6') wide meandering sidewalk at the park site.
- A hierarchy of entry monumentation.

E. COMMUNITY EDGES AND BOUNDARIES

1. Typical Open Space/Drainage Corridor

The open space/drainage corridor is an intermittent flow creek with existing native and riparian vegetation. These existing plant communities occurring with the drainage corridor shall be protected and remain in their natural condition as much as possible. When grading becomes necessary within the drainage corridor to achieve the grade separation between the corridor and developable pads, all disturbed areas including manufactured slopes shall be revegetated with native grasses and shrubs to match the existing native vegetation with groves of native and riparian trees. All residential rear yards, the school boundary and the park boundary shall be fenced with an appropriate fence between the developable pad and the drainage corridor. The open space/drainage corridor shall be maintained by the CSA or the Homeowner Association. (See Figure IV-12, *Typical Open Space/Drainage Corridor*.)

2. Fire Fuel Modification

The Riverside County Fire Code requires a Fire Fuel Modification Zone be maintained along residential edges at natural open space areas. A fire fuel modification zone shall be established that is a minimum of one hundred feet (100') wide as measured from the rear property line to undisturbed open space land. (See Figure IV-13, *Fire Fuel Modification*.)

The Fire Fuel Modification Zone shall be composed of four landscape zones. Zone 1, closest to the homeowner property line, shall be planted with drought tolerant, low fire fuel generating sub-shrubs and groundcover. In addition, Zone 1 will be irrigated with a permanent irrigation system providing 100 percent coverage. Zones 2, 3 and 4 will consist of the native vegetation which has been selectively removed and