

thinned. Zone 2 will have 70 percent, Zone 3 will have 60 percent, and Zone 4 will have 50 percent of the native plant material selectively removed per the following guidelines.

- Selectively remove highly flammable plant species.
- Selectively thin out large, dense groupings of plant materials.
- Remove plant material in a manner that will promote a natural appearance to fuel modification areas.

3. Residential at Biological Preserve Land Use Edge

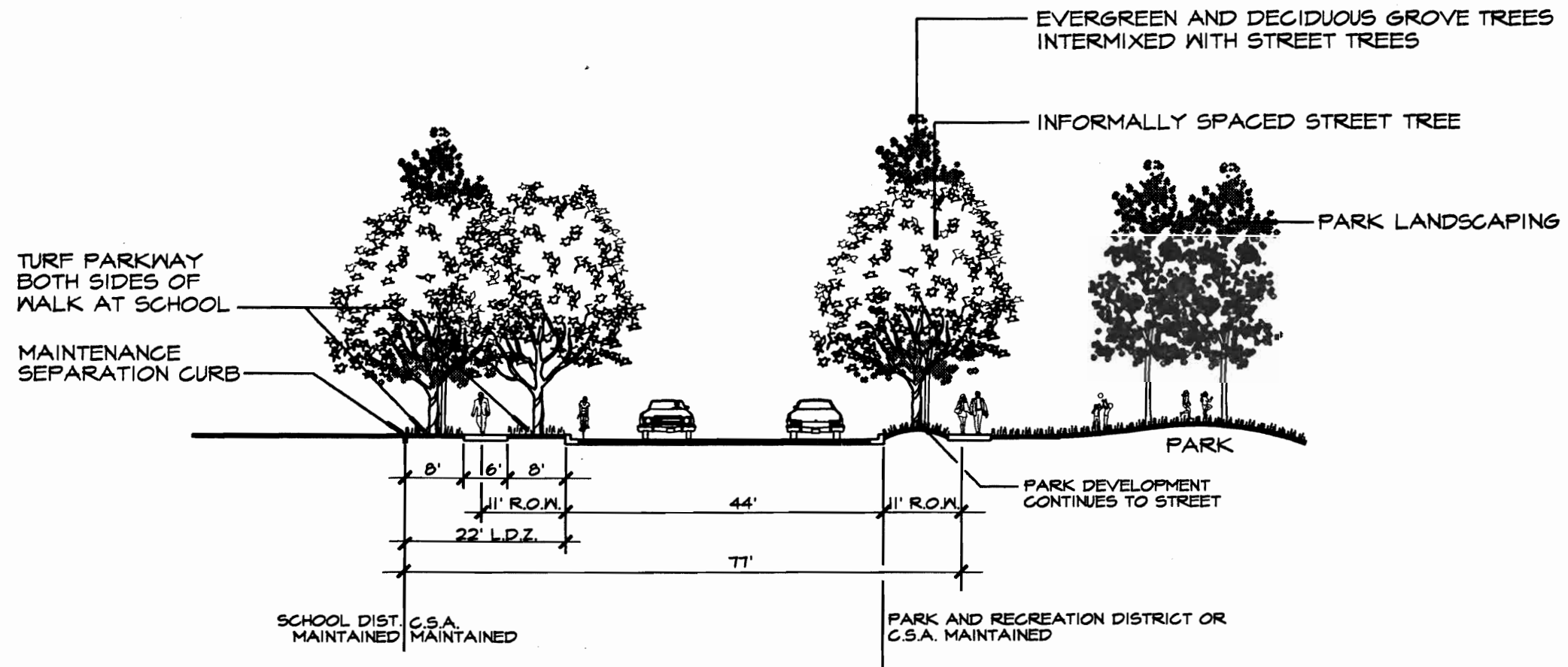
Where the residential site is adjacent to the biological preserve, a continuous variable height 2:1 manufactured slope serves as both a landscape buffer and wet zone between these two (2) land uses. The 2:1 manufactured slope shall be planted with spreading shrubs and evergreen and deciduous grove trees. The landscape buffer shall be landscaped and maintained by the single-family lot owner and the biological preserve maintained by the CSA or Homeowners Association. (See Figure IV-18, *Residential at Biological Preserve Land Use Edge*.)

F. PARKS AND RECREATIONAL AMENITIES

1. Introduction

A variety of recreation opportunities and experiences will be provided at RANCHO BELLA VISTA. The project includes three (3) park sites totaling over forty-five (45) acres of both active and passive recreation. The public active park is located along Street "A" across from the middle school and is adjacent to the biological preserve; the passive park is located within the existing "rocky knoll" north of Borel Road and the public/school active park is located along Pourroy Road south of the elementary school. These three parks are dispersed throughout the project and are therefore easily accessible to the entire community.

TYPICAL COLLECTOR STREETSCENE AT SCHOOL AND PARK

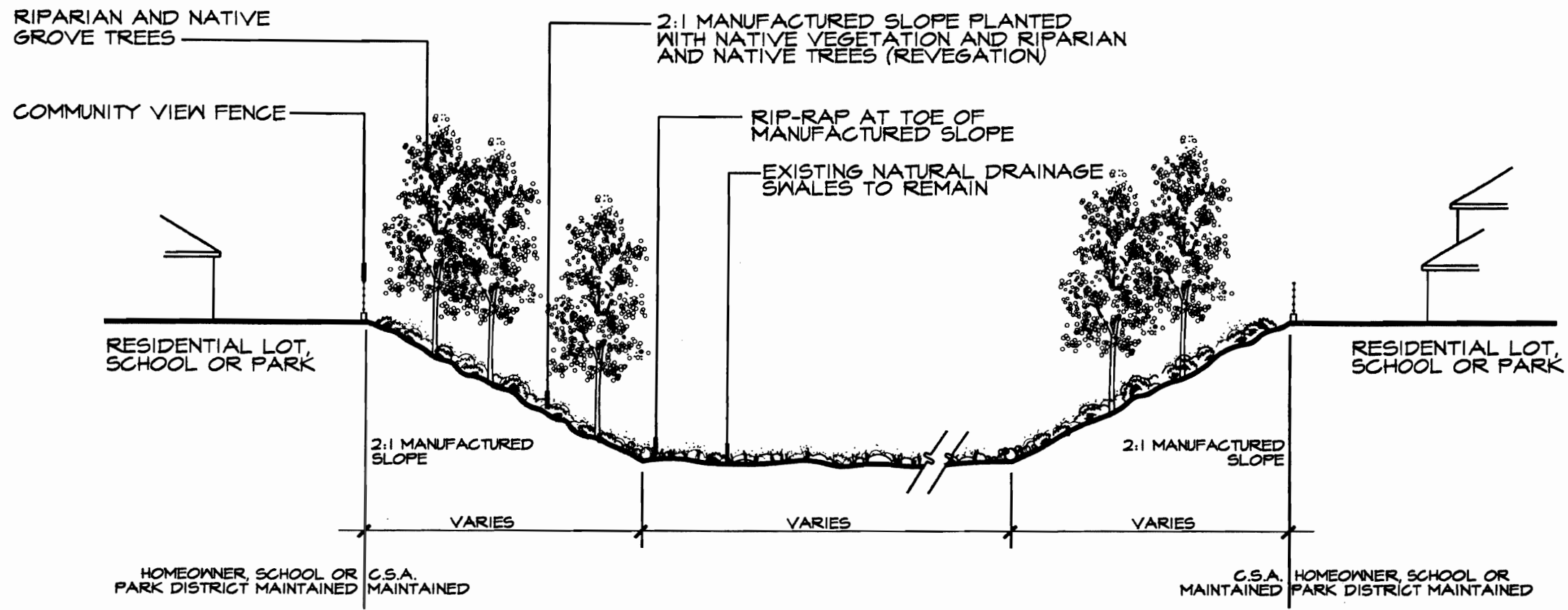


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TYPICAL OPEN SPACE/DRAINAGE CORRIDOR

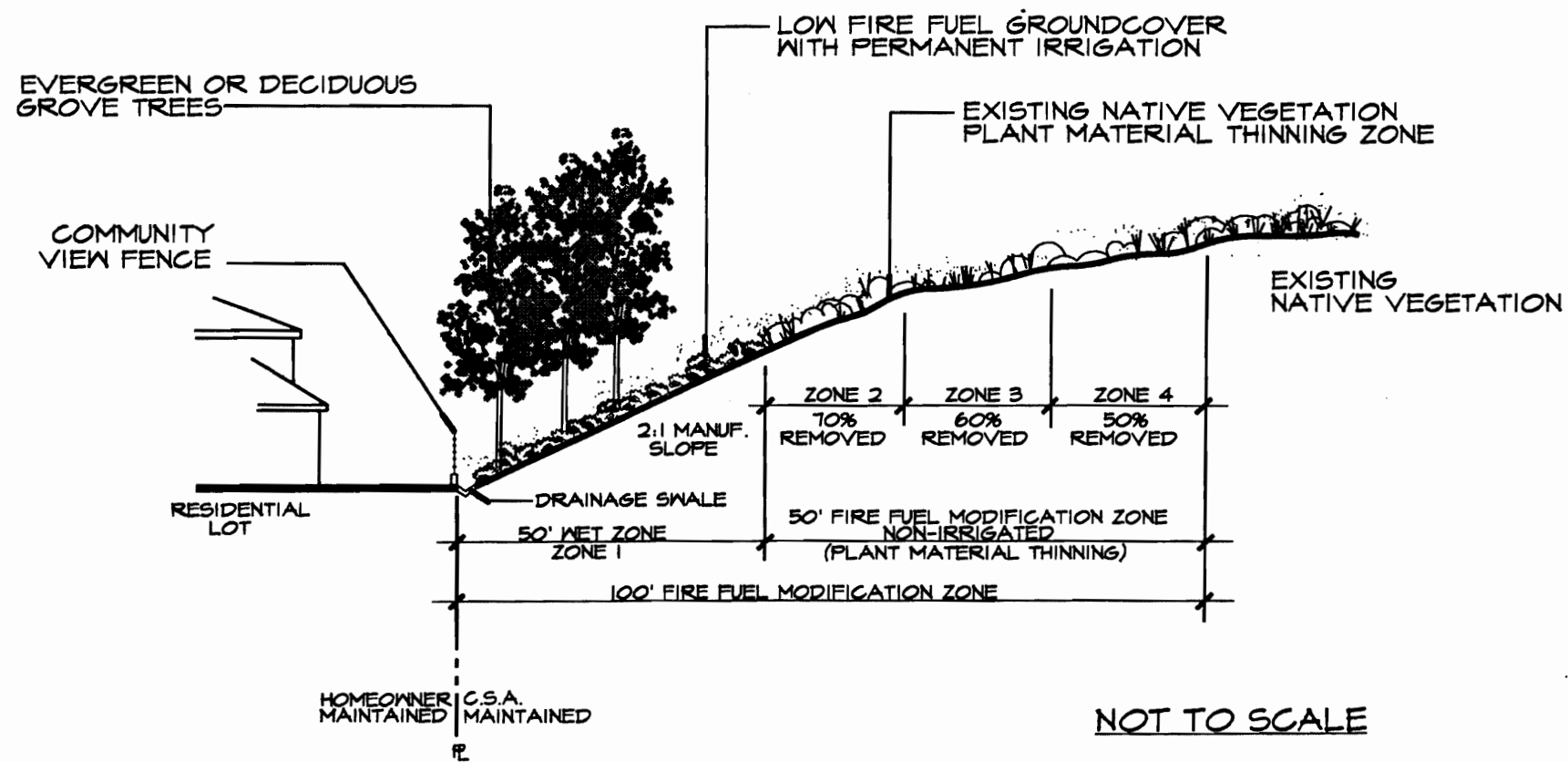


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FIRE FUEL MODIFICATION



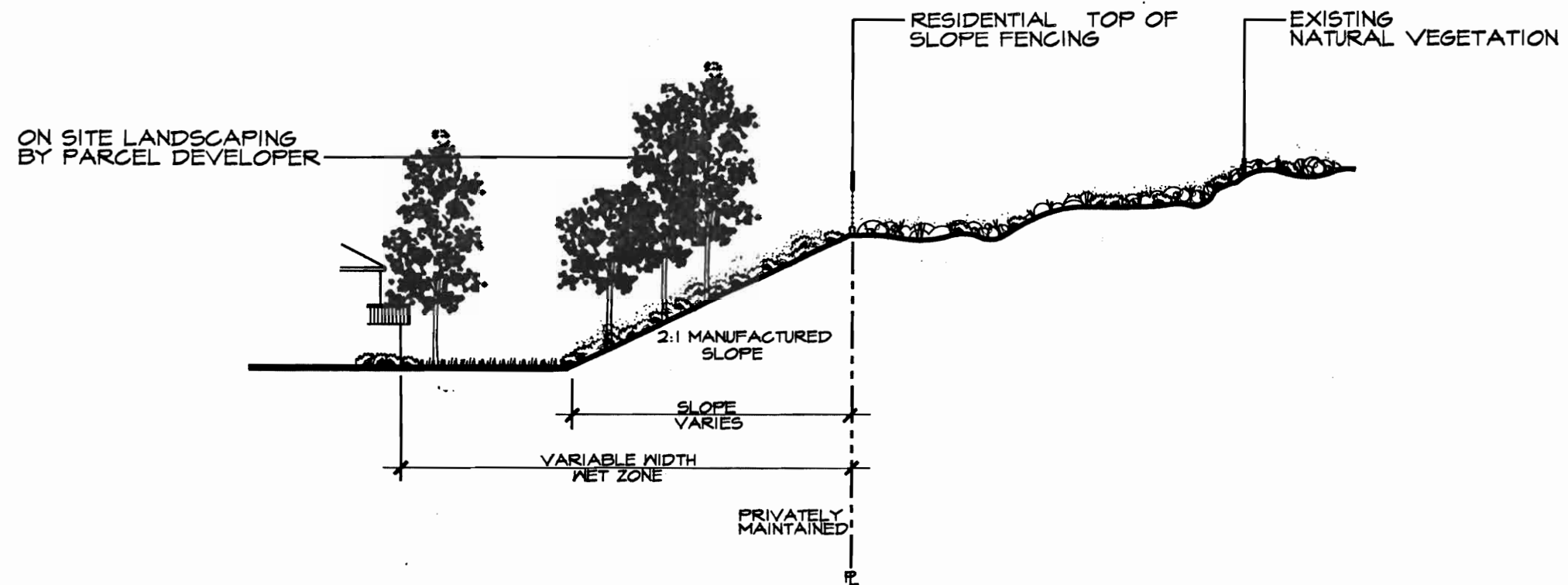
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Figure IV-17, *Deleted*

RESIDENTIAL AT BIOLOGICAL PRESERVE LAND USE EDGE



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2. Planning Area 13 - 6.2 Acre Public Active Park

This public active park is designed to meet the needs of the whole community as well as providing appropriate amenities which can be utilized by the middle school across the street. The park accommodates both active and passive recreation while at the same time buffers the sensitive biological preserve (see Figure IV-19, *Planning Area 13 - 6.2-Acre Public Active Park*). The recreation program may include some of the following, as well as other items not listed:

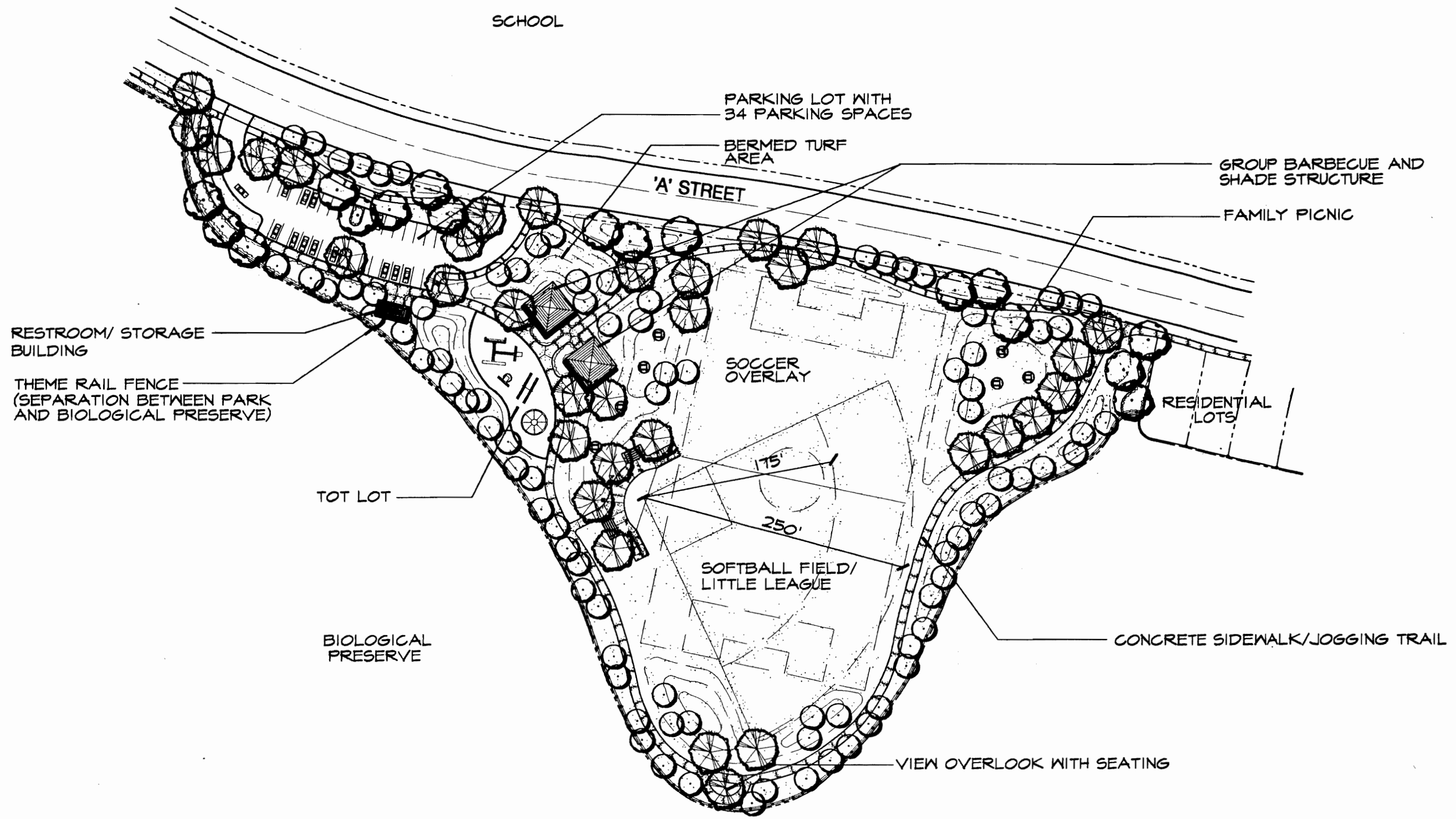
- Restroom building.
- Parking lot (\pm 34 parking spaces).
- Group barbecue and shade structures.
- Tot lot.
- Soccer/football fields.
- Softball/little league fields.
- Pedestrian trails.
- Family picnic.
- View overlook to biological preserve.

3. Planning Area 4 - 7.2-Acre Public/School Active Park

The public/school active park is designed to accommodate the active recreational needs of the community and the elementary school to the north. The site is uniquely situated between Pourroy Road, single family residential and a natural drainage corridor. The shared parking lot entry drive aligns with a neighborhood street and eliminates multiple access points to park and school from Pourroy Road which enhances safety. Pedestrian circulation provides connections to school, residential neighborhoods and Pourroy Road streetscene. The park maximizes the use of softball fields with soccer/football overlays which can accommodate multiple and various activities at the same time (See Figure IV-20, *Planning Area 4 - 7.2-Acre Public School/Active Park*). The recreation program may include some of the following, as well as other items not listed:

- Restroom building.
- Softball/little league fields - Two (2).
- Soccer/football fields.
- Group barbecue and shade structures.
- Tot lot/adventure play.
- Basketball courts - Two (2).
- Parking lot (\pm 65 parking spaces).
- View overlook to drainage corridor.
- Family picnic.

PLANNING AREA 13 6.2 ACRE PUBLIC ACTIVE PARK



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4. Planning Area 8 - 30.5-Acre Passive Park

The passive park is sited on an existing "rocky knoll" which provides a natural buffer between residential units in Planning Areas 7 and 9, and accommodates hiking trail needs. The concept for the park involves providing trail connections linking residential neighborhoods and providing primary passive recreation opportunities in two (2) locations where existing topography would allow. Attention was given to locating trails and amenities to minimize grading operations which will be both aesthetically pleasing and cost efficient. (See Figure IV-21, *Planning Area 8 - 30.5-Acre Passive Park*.) The recreation program for the passive park may include some of the following, as well as other items not listed.

- On street parallel parking.
- Hiking trails (handicap accessible).
- Group picnic structure.
- Tot lot/adventure play.
- Turf Areas.
- Seating areas.
- Family picnic.

G. WALLS AND FENCES

1. Community Fencing

a. INTRODUCTION

Walls are a major component in achieving an overall community theme at RANCHO BELLA VISTA. A strong cohesive appearance is achieved through the use of "community walls" and general overall wall guidelines.

All walls which adjoin community streetscenes shall be located entirely within the streetscene parcel allowing for common maintenance by County Service Area or by a Homeowner Association. Such walls shall be termed "Community Walls" and shall be designed and installed in accordance per the Community Wall elevations.

Specifically excluded are: residential rearyard and sideyard situations not adjoining a public street or common use area; and family frontyard enclosure fencing. Wall applications in these areas will be evaluated for appropriateness with the architectural setting. (See Figure IV-22, *Conceptual Community Fencing Plan*.)