

4. Planning Area 8 - 30.5-Acre Passive Park

The passive park is sited on an existing "rocky knoll" which provides a natural buffer between residential units in Planning Areas 7 and 9, and accommodates hiking trail needs. The concept for the park involves providing trail connections linking residential neighborhoods and providing primary passive recreation opportunities in two (2) locations where existing topography would allow. Attention was given to locating trails and amenities to minimize grading operations which will be both aesthetically pleasing and cost efficient. (See Figure IV-21, *Planning Area 8 - 30.5-Acre Passive Park*.) The recreation program for the passive park may include some of the following, as well as other items not listed.

- On street parallel parking.
- Hiking trails (handicap accessible).
- Group picnic structure.
- Tot lot/adventure play.
- Turf Areas.
- Seating areas.
- Family picnic.

G. WALLS AND FENCES

1. Community Fencing

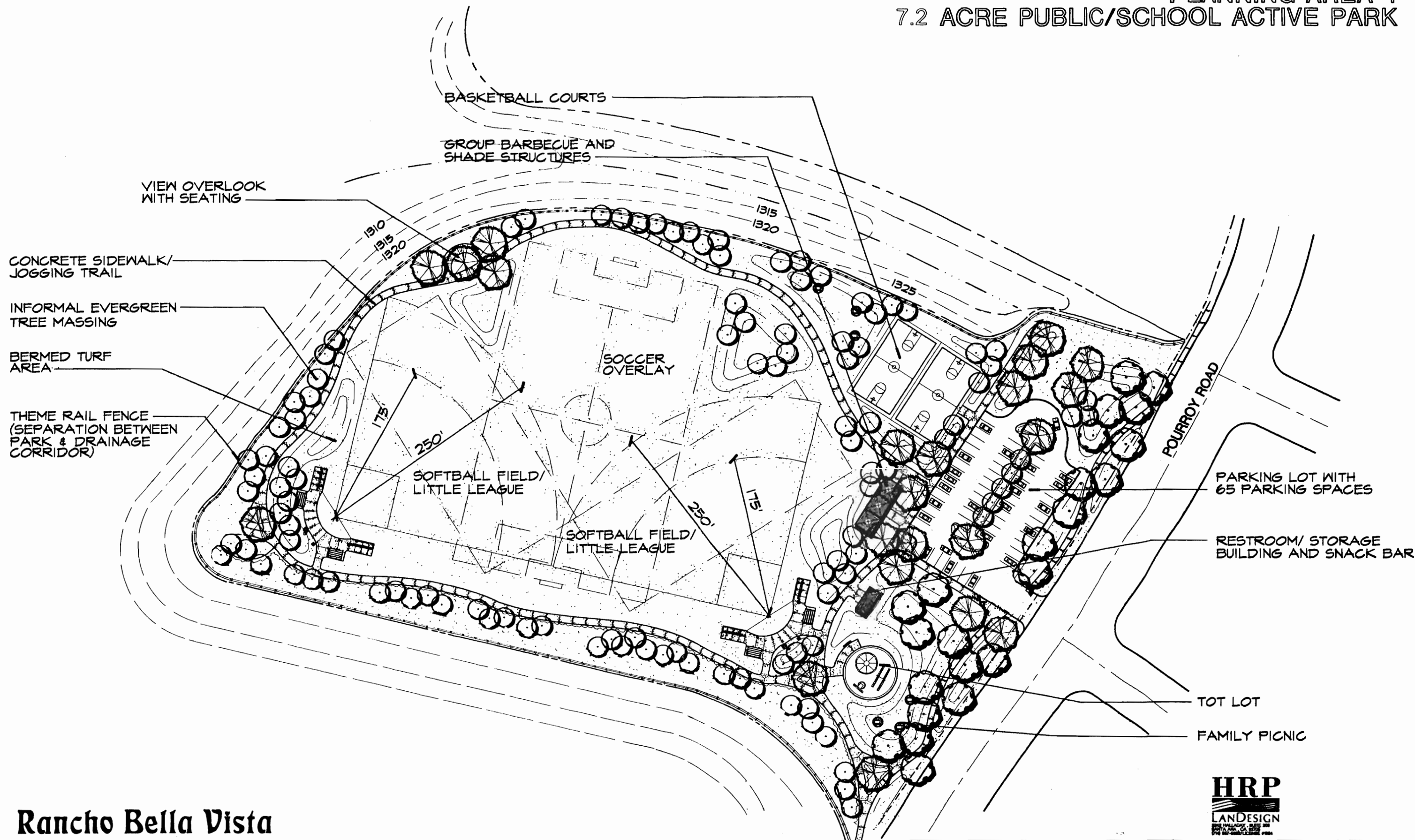
a. INTRODUCTION

Walls are a major component in achieving an overall community theme at RANCHO BELLA VISTA. A strong cohesive appearance is achieved through the use of "community walls" and general overall wall guidelines.

All walls which adjoin community streetscenes shall be located entirely within the streetscene parcel allowing for common maintenance by County Service Area or by a Homeowner Association. Such walls shall be termed "Community Walls" and shall be designed and installed in accordance per the Community Wall elevations.

Specifically excluded are: residential rearyard and sideyard situations not adjoining a public street or common use area; and family frontyard enclosure fencing. Wall applications in these areas will be evaluated for appropriateness with the architectural setting. (See Figure IV-22, *Conceptual Community Fencing Plan*.)

PLANNING AREA 4 7.2 ACRE PUBLIC/SCHOOL ACTIVE PARK

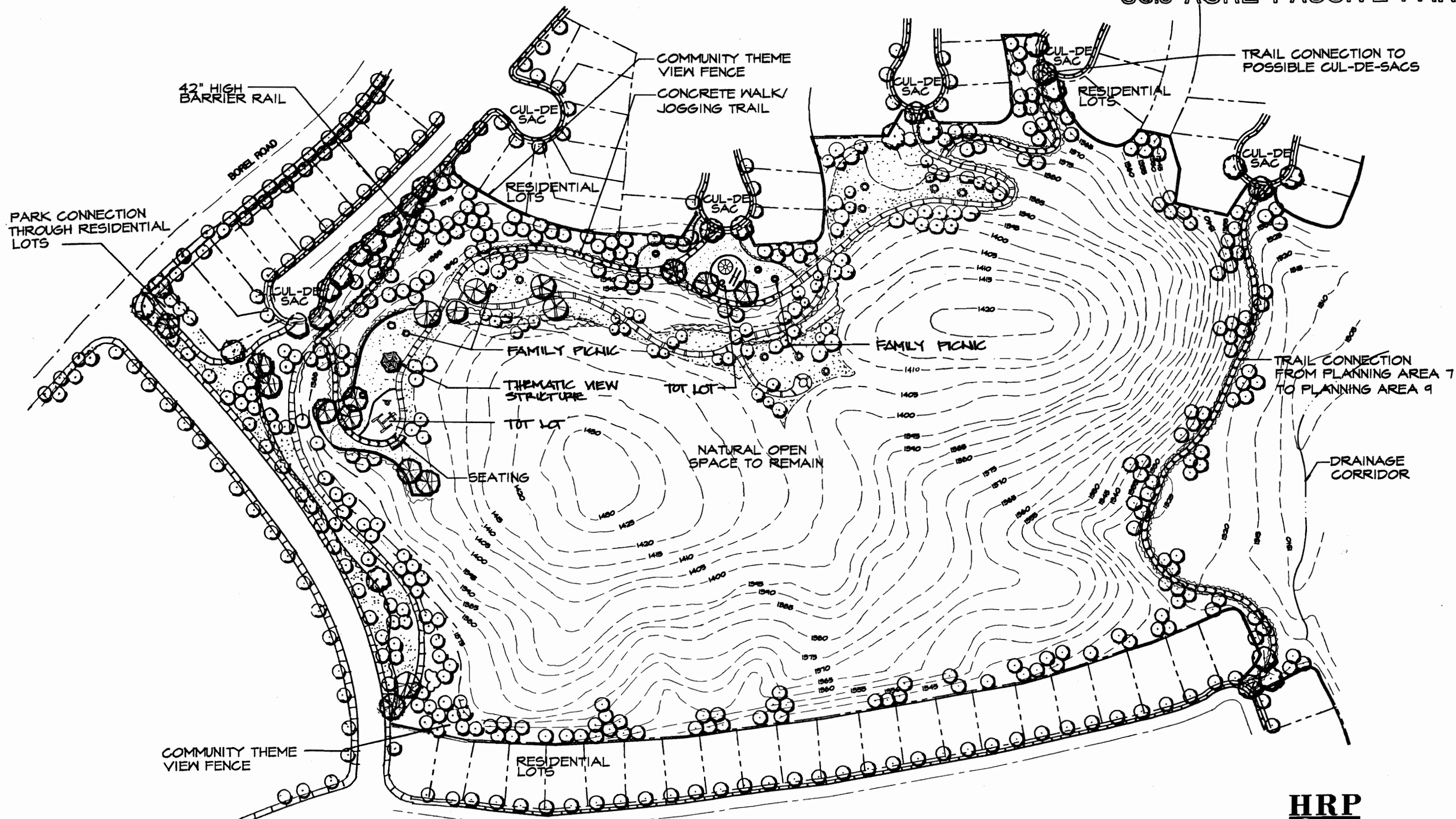


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PLANNING AREA 8 30.5 ACRE PASSIVE PARK



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FENCING LEGEND

- COMMUNITY THEME SOLID WALL (FENCE TYPE 'A')
- COMMUNITY THEME SOLID WALL AND OPEN TUBULAR STEEL FENCE OR OPEN TUBULAR STEEL FENCE (FENCE TYPE B & C)
- BUILDER OPTIONAL COMMUNITY THEME SOLID WALL, SOLID WALL AND OPEN TUBULAR STEEL FENCE OR OPEN TUBULAR STEEL FENCE (FENCE TYPE A,B & C)
- COMMUNITY THEMATIC RAIL FENCE (FENCE TYPE E)

NOTE: REFER TO COMMUNITY THEME WALLS AND FENCING ELEVATIONS (FIGURE 23) FOR GRAPHIC DEPICTION OF FENCING TYPES A,B,C,D & E

WOOD FENCE (FENCE TYPE D) OCCURS ONLY BETWEEN RESIDENTIAL LOTS. WOOD FENCES ARE NOT SHOWN ON THIS EXHIBIT.

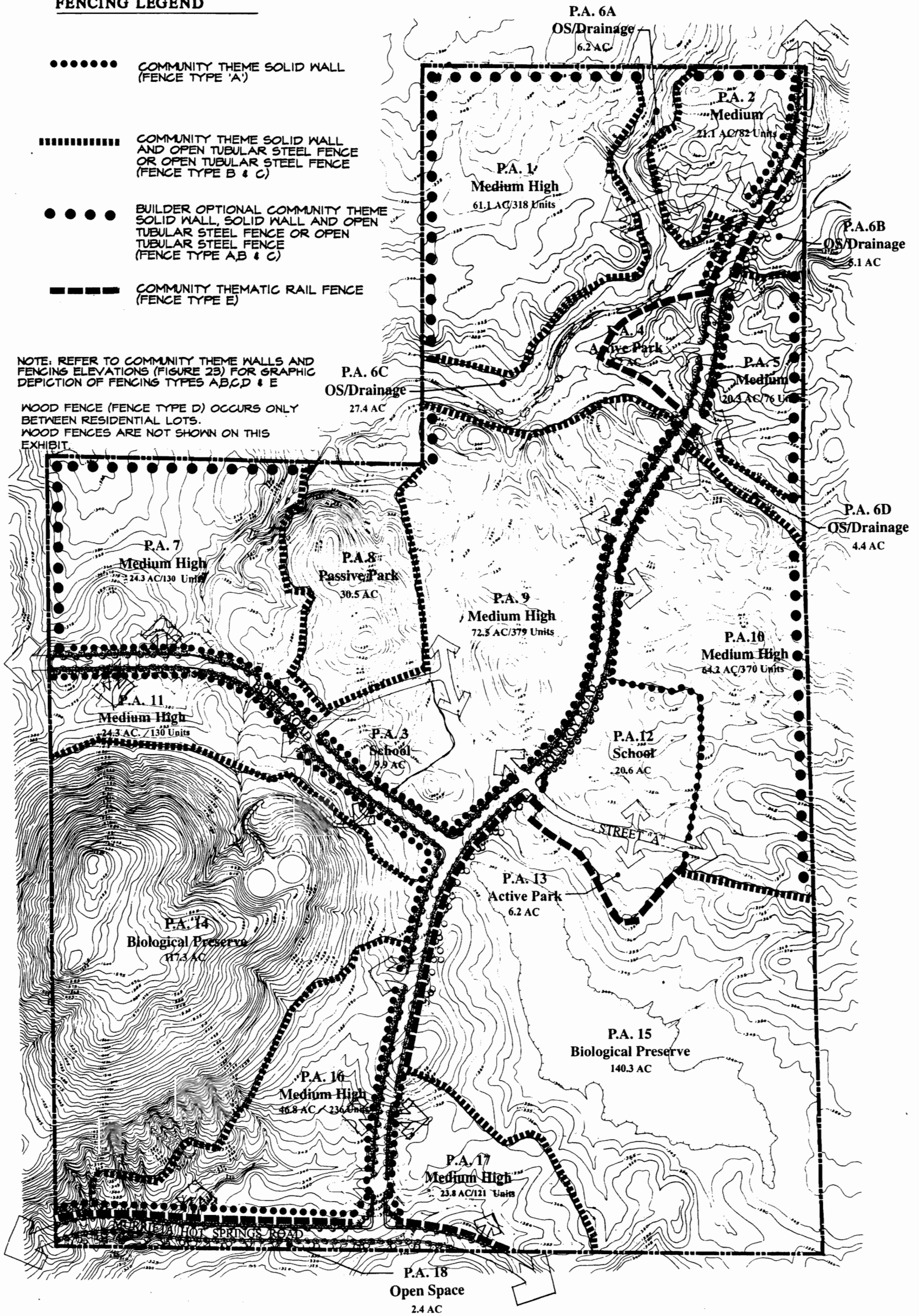


Figure IV-22

CONCEPTUAL COMMUNITY FENCING PLAN

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b. SOLID WALL REQUIREMENT

Where privacy or protection of common area views dictate, a solid masonry wall with pilasters shall be used. Pilaster construction of sixteen inch (16") square column block shall occur at all property lines, changes in vertical and horizontal direction and at other intervals appropriate to the length of wall run. When designated to be installed on the property line between two (2) residential properties, the centerline of pilaster should be positioned on the property line with a one inch (1") square permanent marker denoting the property line location for homeowner fence alignment purposes. (See Figure IV-23, *Community Theme Walls and Fencing Elevations*.)

c. COMBINATION WALL OR OPEN VIEW FENCE REQUIREMENT

Where view opportunity exists and where there is eight feet (8') minimum of vertical separation between adjacent parcels a combination wall or open view fence shall be used. The pilasters shall match those described herein for the base requirement solid wall treatment inclusive of size, design configurations and locations. The combination wall is to be used along streetscenes and along high visibility corridors. The open view fence shall be used where visual protection from common maintenance areas is assured. (See Figure IV-23, *Community Theme Walls and Fencing Elevations*.)

2. Neighborhood Fencing

a. INTRODUCTION

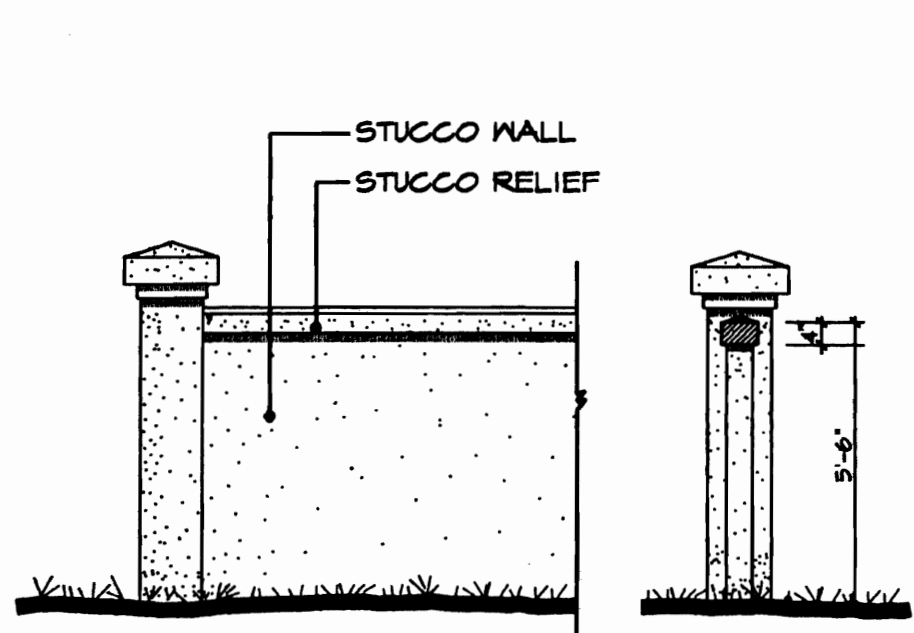
Neighborhood fences and walls shall be designed as an integral component and extension of the building design and surrounding landscape. Periphery walls may be integrated into the adjacent structure and extended into the landscape to help integrate the building into its environment. Walls and fences shall be constructed of materials, colors, and textures that are similar and harmonious with the architecture. Particular importance shall be given to railing and cap details. Walls and fences may be offset occasionally to avoid visual monotony. Variety in materials, design and height is encouraged. Fencing and walls shall be used to define the limits of property ownership, as well as for the creation of exterior privacy. The following regulations shall apply to all walls, fences, and permanent screening structures in the RANCHO BELLA VISTA project area.

b. WALLS AND FENCE LOCATIONS

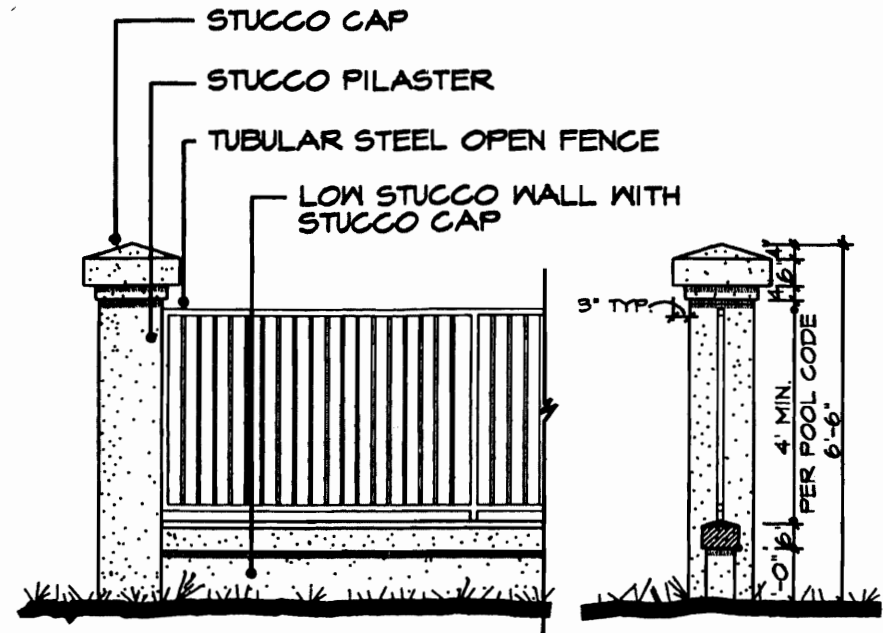
Fences or walls may be constructed in the following areas provided that no wall or fence shall be constructed within the street right-of-way.

- 1) **Interior Neighborhood Streetscene Walls.** Patio homes, cluster homes, courtyard homes or housing walls adjoining any interior neighborhood streetscene shall have a perimeter streetscene solid wall treatment.
- 2) **Perimeter Streetscene Solid Wall Base Application.** A uniform solid wall designed to reinforce the architectural setting while remaining compatible with the previously described Community Wall Program should be utilized at all residential corner lot sideyards which parallel or are viewed from public streets. The visual integrity of the overall community and neighborhood streetscene will, therefore, be protected.

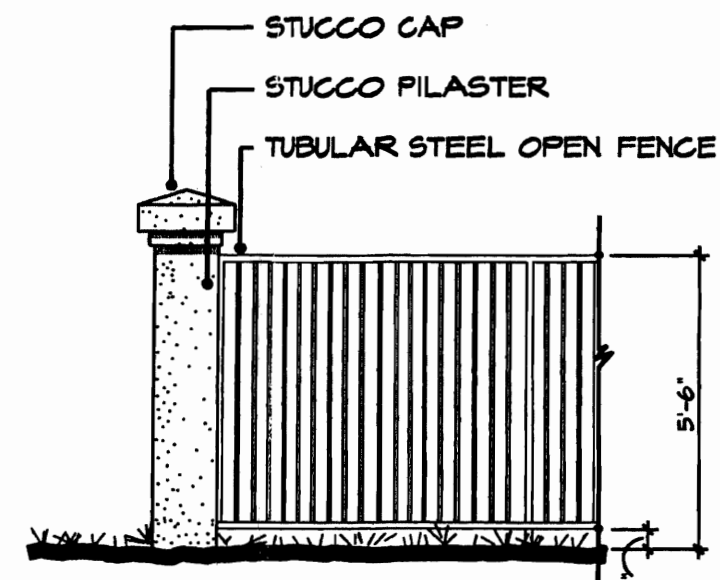
COMMUNITY THEME WALLS AND FENCING ELEVATIONS



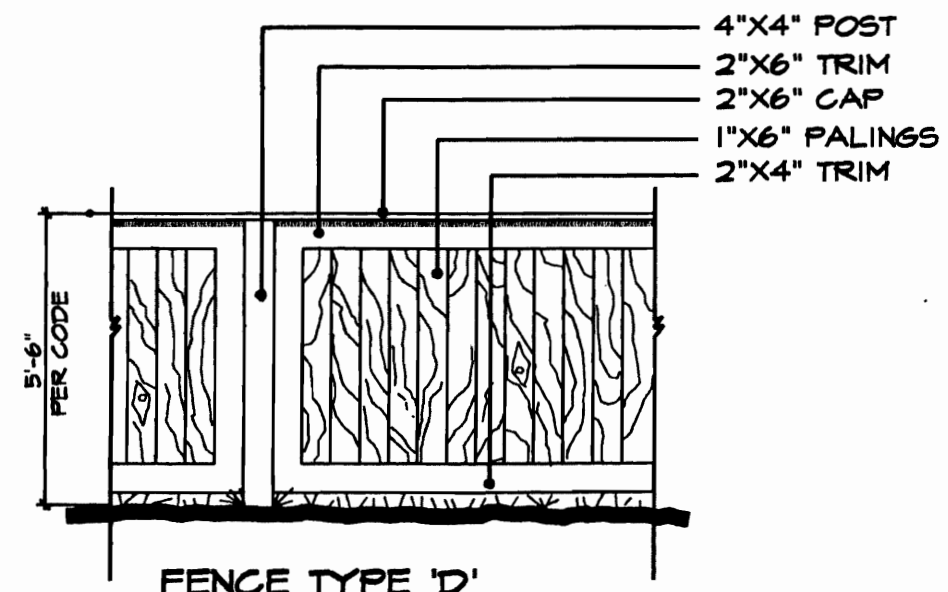
FENCE TYPE 'A'
COMMUNITY THEME SOLID WALL
ELEVATION - TYPICAL



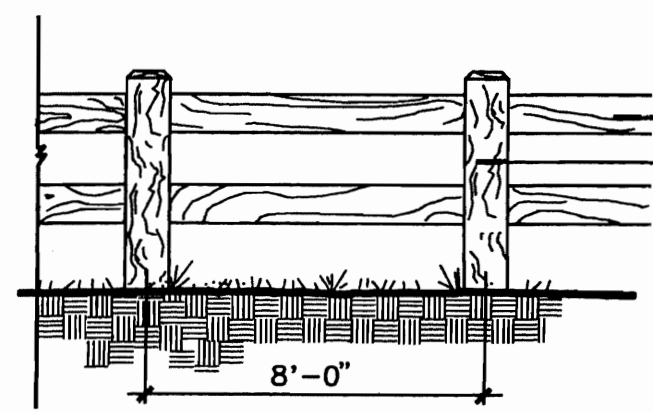
FENCE TYPE 'B'
COMMUNITY THEME SOLID WALL AND
OPEN TUBULAR STEEL FENCE
ELEVATION-TYPICAL



FENCE TYPE 'C'
COMMUNITY THEME TUBULAR STEEL OPEN FENCE
ELEVATION-TYPICAL



FENCE TYPE 'D'
COMMUNITY THEME WOOD FENCE
ELEVATION - TYPICAL



FENCE TYPE 'E'
COMMUNITY THEMATIC
RAIL FENCE ELEVATION- TYPICAL

NOTE:
RAIL FENCE MATERIALS
SHALL BE CONCRETE,
WOOD LAMINATE OR OTHER
DURABLE MATERIALS.

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3) **Open View Wall Base Application.** Where interior lot view opportunities exist without a privacy conflict, an open view fence or wall may be appropriate. Such a view fence shall be compatible with the architectural setting.

4) **Wood Fencing Base Application.** Wood fencing is permitted within individual neighborhoods where fencing is not readily visible from the community streetscenes and when on-site views are not desirable. Within these constraints, wood fencing may occur along rear and side yard property lines. Wood fencing shall be a two-sided "good neighbor" type fence, thus providing visual integrity between neighbors.

3. Wall and Fence Heights

a. RESIDENTIAL AND INSTITUTIONAL USES

The following wall heights are permitted provided that no fence or wall shall exceed six foot (6'-0") in height.

Privacy walls should be a minimum of five foot (5'-0") in height.

- Front: No six foot (6') high wood fences should be located at the front property line.
- Two-sided fencing shall be used whenever visible from a public or private street.

4. Wall/Fence Materials and Colors

All fences and walls shall be designed and constructed as part of the overall architectural and site design. All materials shall be durable and finished in textures and colors complimentary of the overall architectural design.

a. PERMITTED MATERIALS

Stone veneer, stucco (including stucco covered block), masonry, brick, slump block, block and tubular steel combination and wood cap trim are acceptable. Wood fence materials must be of sufficient quality to accept semitransparent stains. Conditionally acceptable materials include glass and/or heavy break resistant plastic if used in conjunction with another material such as stucco, masonry, brick, or wood.

b. PROHIBITED WALL AND FENCE MATERIALS

Barbed wire, wire, electrically charged fences, plain exposed precision concrete block, plastic materials, corrugated metal, chain link, and grapestake fencing are prohibited.

c. PERMITTED COLORS AND TREATMENTS

Walls may be left natural or covered with stucco, except plain precision concrete block be covered with stucco. Brick or slump block walls may be painted or covered with stucco, if desired. Stone surfaces shall remain natural and unpainted.

All wooden fences shall be treated with stain to help prevent rotting and weathering. Transparent stains are acceptable.

Material, colors, texture, and alignment of wall and fences shall be varied to relieve visual monotony. High contrast materials should be used only in select areas as accents.

5. Special Wall and Fence Regulations

- All fences and walls shall be designed as an integral part of the overall architectural design theme.
- All fences and walls connecting two (2) separate residential dwelling units shall be constructed of the same color and material and shall be compatible with the color and material of the architecture.
- Long walls should be broken up with landscaping, particularly vines and espaliers. When possible, an eighteen inch (18") minimum space should be left between paved areas and walls and fences to allow for landscaping.

H. OUTDOOR LIGHTING

All streets in RANCHO BELLA VISTA shall have uniform lighting standards with regard to style, materials, and colors in order to ensure consistent design. Each residential development may develop its own lighting standards, provided that the selected lighting fixture style is used consistently throughout the project. Lighting fixtures shall be well integrated into the visual environment and the appropriate architectural theme. All lighting fixtures shall comply with the following regulations and provisions.