

AUDIE MURPHY RANCH B. PLANNING AREA DEVELOPMENT STANDARDS**1. Planning Area 1: Medium Density Residential****a. DESCRIPTIVE SUMMARY**

Planning Area 1, as shown on Figure 4B-1, provides for development of 29.8 acres with medium density residential homes with a maximum of 108 dwelling units at an average target density 3.6 du/ac within the density range of 2-5 du/ac. The minimum lot size will be 7,200 square feet.

b. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348. 4146. (See Specific Plan Zoning Ordinance Tab.)

c. PLANNING STANDARDS

- 1) Primary access to Planning Area 1 shall be provided from Goetz Road.
- 2) A neighborhood entry shall be provided at the entrance to Planning Area 1 as shown in Figure 4C-5, *Neighborhood Entry-Typical Plan View*, and Figure 4C-6, *Neighborhood Entry-Typical Elevation*.
- 3) A roadway landscape treatment, as shown on Figure 4C-11, *Goetz Road Streetscape-Typical Plan View*, and Figure 4C-12, *Goetz Road Streetscape-Typical Elevation*, shall be provided along Goetz Road.
- 4) Walls and fencing located within AUDIE MURPHY RANCH shall be constructed as delineated on Figure 4C-24, *Wall and Fence Plan*, and depicted on Figure 4C-25, *Wall and Fencing Details*.
- 5) Please refer to Section IV.C. for specific *Design Guidelines* and other related design criteria.
- 6) Please refer to Section IV.A. for the following *Development Plans and Standards* that apply site-wide:

IV.A.2:	Specific Land Use Plan
IV.A.3:	Circulation Plan
IV.A.4:	Drainage Plan
IV.A.5:	Water and Sewer Plans
IV.A.6:	Landscaping Plan
IV.A.7:	Open Space and Recreation Plan
IV.A.8:	Grading Plan
IV.A.9:	Public Facility Sites & Project Phasing Plan
IV.A.10:	Comprehensive Maintenance Plan

STATISTICAL SUMMARY

MEDIUM RESIDENTIAL	PA.1 7,200 S.F. 29.8 AC. 108 DUs MAX.
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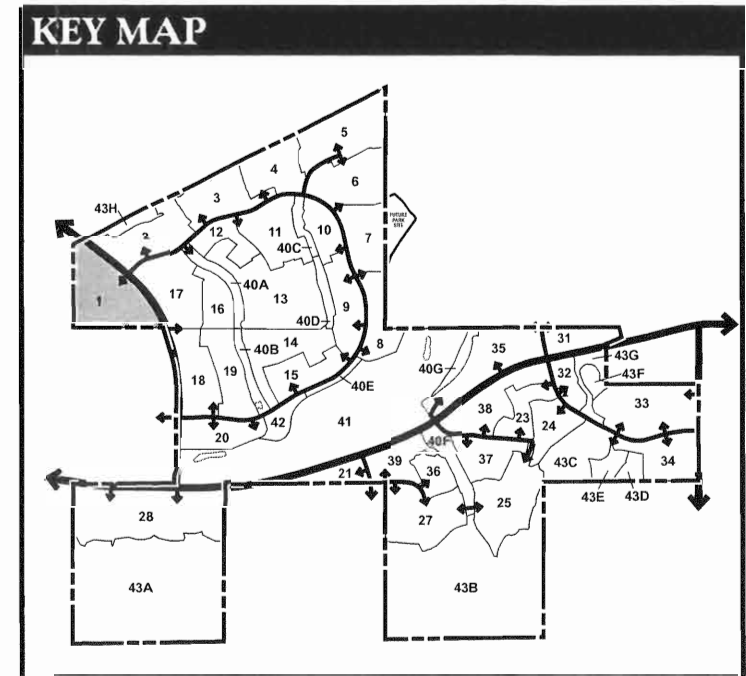
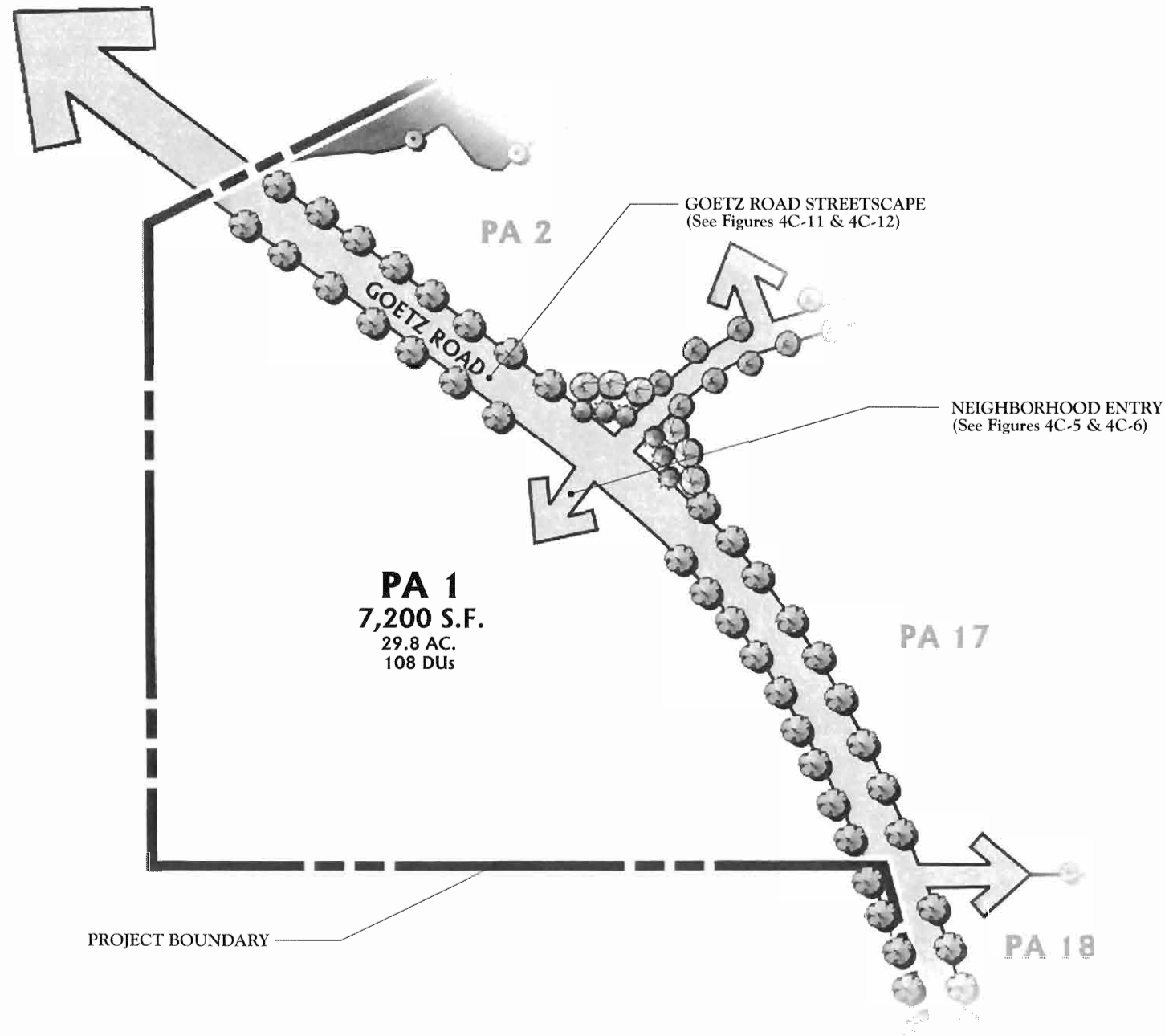


Figure 4B-1
PLANNING AREA 1