

AUDIE MURPHY RANCH

B. PLANNING AREA DEVELOPMENT STANDARDS

3. Planning Area 3: Medium Density Residential

a. DESCRIPTIVE SUMMARY

Planning Area 3, as shown on Figure 4B-2, provides for development of 18.6 acres with medium density residential homes with a maximum of 69 dwelling units at an average target density 3.7 du/ac within the density range of 2-5 du/ac. The minimum lot size will be 7,200 square feet.

b. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.4146. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Primary access to Planning Area 3 shall be provided from Street "A."
- 2) Two neighborhood entries, as shown on Figure 4C-5, *Neighborhood Entry-Typical Plan View*, and Figure 4C-6, *Neighborhood Entry-Typical Elevation*, shall be provided at the entries into Planning Area 3 from Street "A."
- 3) A roadway landscape treatment, as shown on Figure 4C-14, *Collector Road Streetscape-Typical Plan View*, and Figure 4C-15, *Collector Road Streetscape-Typical Elevation*, shall be provided along Street "A."
- 4) A special treatment/buffer, as shown on Figure 4C-16, *Residential/Natural Open Space and Fuel Modification Edge Condition*, shall be provided between the residential uses in Planning Area 3 and the open space located within Planning Area 43h.
- 5) Walls and fencing located within AUDIE MURPHY RANCH shall be constructed as delineated on Figure 4C-24, *Wall and Fence Plan*, and depicted on Figure 4C-25, *Wall and Fencing Details*.
- 6) Please refer to Section IV.C. for specific *Design Guidelines* and other related design criteria.
- 7) Please refer to Section IV.A. for the following *Development Plans and Standards* that apply site-wide:

IV.A.2:	Specific Land Use Plan
IV.A.3:	Circulation Plan
IV.A.4:	Drainage Plan
IV.A.5:	Water and Sewer Plans
IV.A.6:	Landscaping Plan
IV.A.7:	Open Space and Recreation Plan
IV.A.8:	Grading Plan
IV.A.9:	Public Facility Sites & Project Phasing Plan
IV.A.10:	Comprehensive Maintenance Plan

STATISTICAL SUMMARY	
MEDIUM RESIDENTIAL	P.A. 2 7,200 S.F. 21.0 AC. 74 DU's MAX.
	P.A. 3 7,200 S.F. 18.6 AC. 69 DU's MAX.

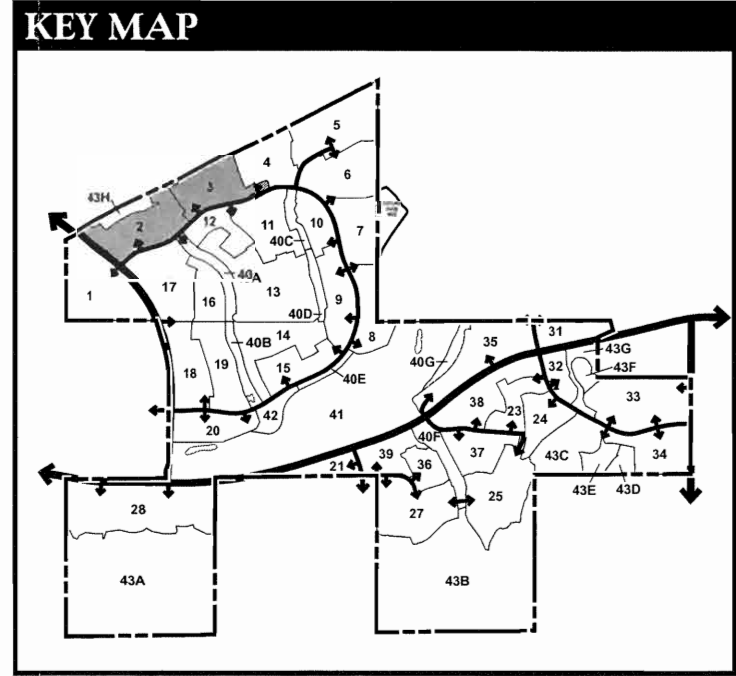
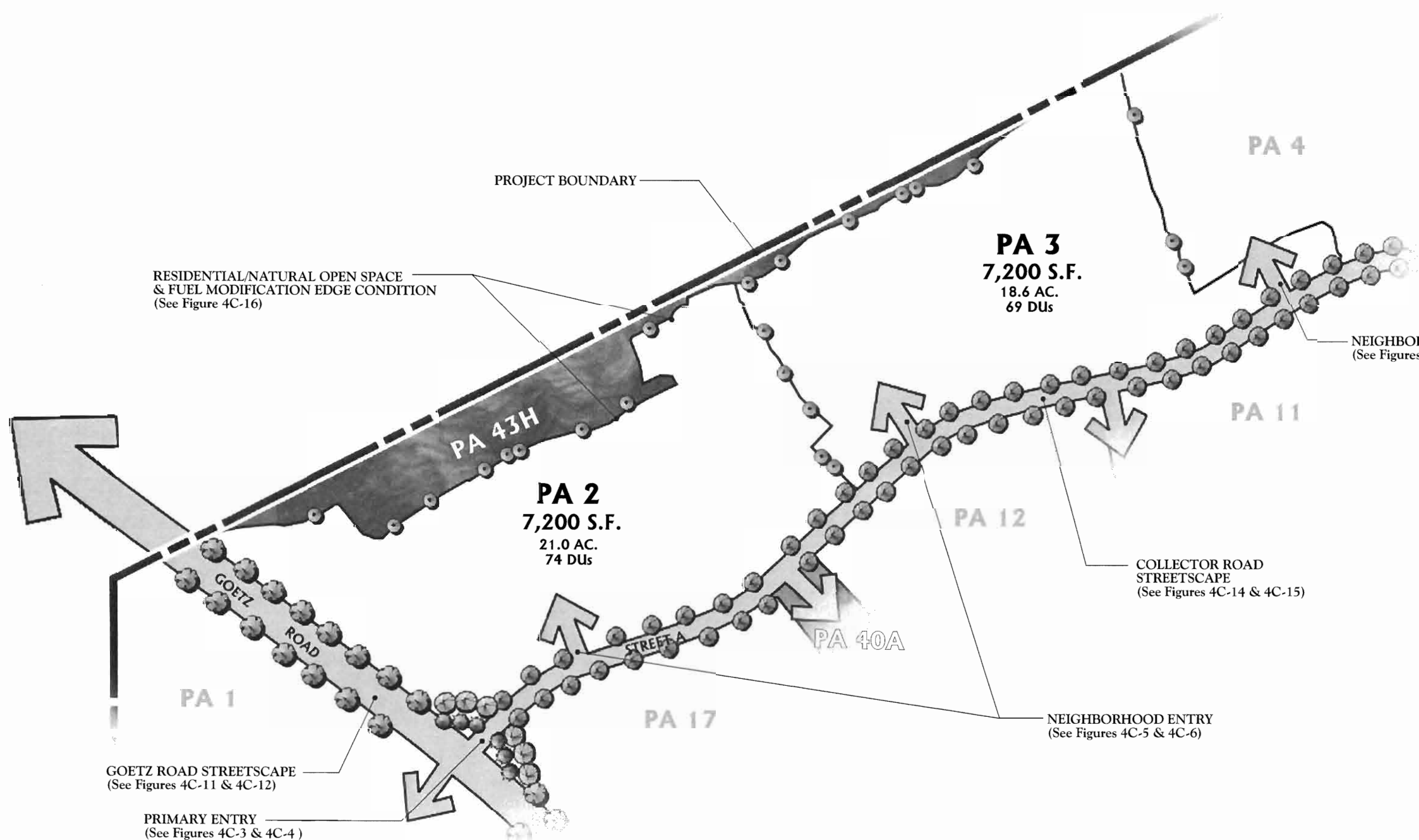


Figure 4B-2
PLANNING AREAS 2 & 3