

The following general standards have been incorporated into the project Walls and Fences Plan:

- o Walls and fences are to be designed so that they are compatible and contribute to the overall architectural theme.
- o Care shall be taken to insure and provide privacy on the bedroom side of residences.
- o All walls will end at a pilaster, unless otherwise approved by Riverside County Planning Staff. On corner lots, throughout the project, the walls and fences will return and connect with the residence.
- o For the design of fencing between units, the merchant builders will design and provide double faced fences.
- o Project applicant will be responsible for the construction of the project entry monuments and walls.
- o The various merchant builders will be responsible for implementing the Walls and Fences Plan.

4.3.3 ARCHITECTURAL DESIGN/OVERVIEW

This section provides the design guidelines for product-type development, which will insure and enhance the mission-style design elements and visual presentation of the Rio Vista project.

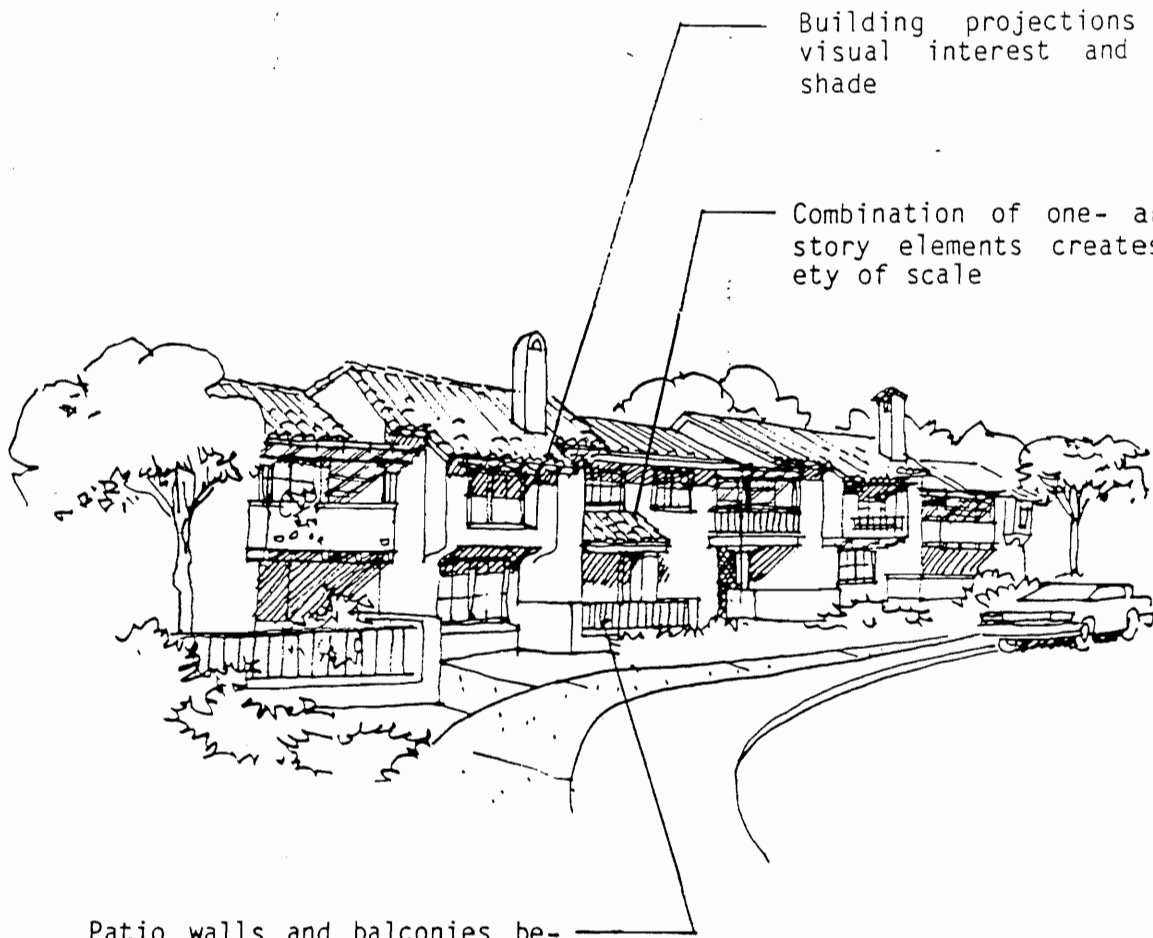
a. General Style/Theme

The community design theme for the Rio Vista community shall be early California/Spanish Mission. Project implementation shall be sensitive of the architectural elements which compliments the project theme.

b. Building Mass, Form and Height

1. Areas of long, unbroken unit faces without offsets are not to be allowed within the project. The organization of the residential floor plans shall be reflected by the use of offsets and mass articulation in the design technique (see Figures 4.72 through 4.74).

2. The depths of the units should be varied throughout the residential areas to provide groupings that are visually pleasing. Varying the depth of the individual unit plans provides opportunities to create interesting massing without adding superficial design elements.
3. Entries shall be individual and identifiable elements of the building massing.



Building projections create visual interest and provide shade

Combination of one- and two-story elements creates variety of scale

Patio walls and balconies become prominent, visual community elements

MULTI-FAMILY DESIGN

RIO VISTA **FirstCity**

FIGURE 4.72



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Articulate various building elements.

Fireplace

Roof forms

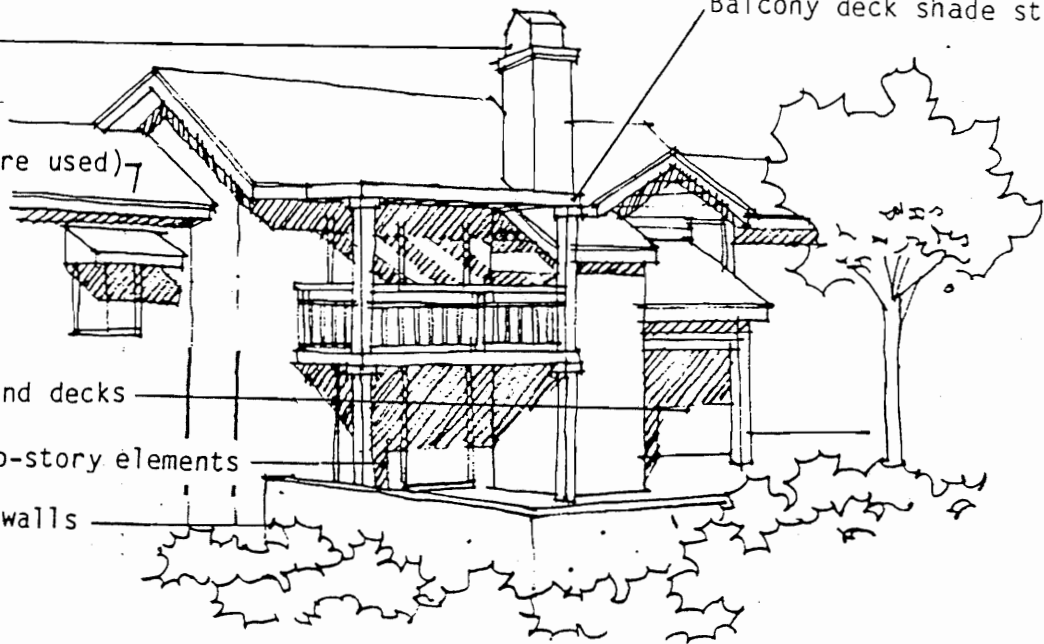
Awning (where used)

Balcony deck shade structure

Balconies and decks

two-story elements

Patios and walls



recessed porch enclosures and entries

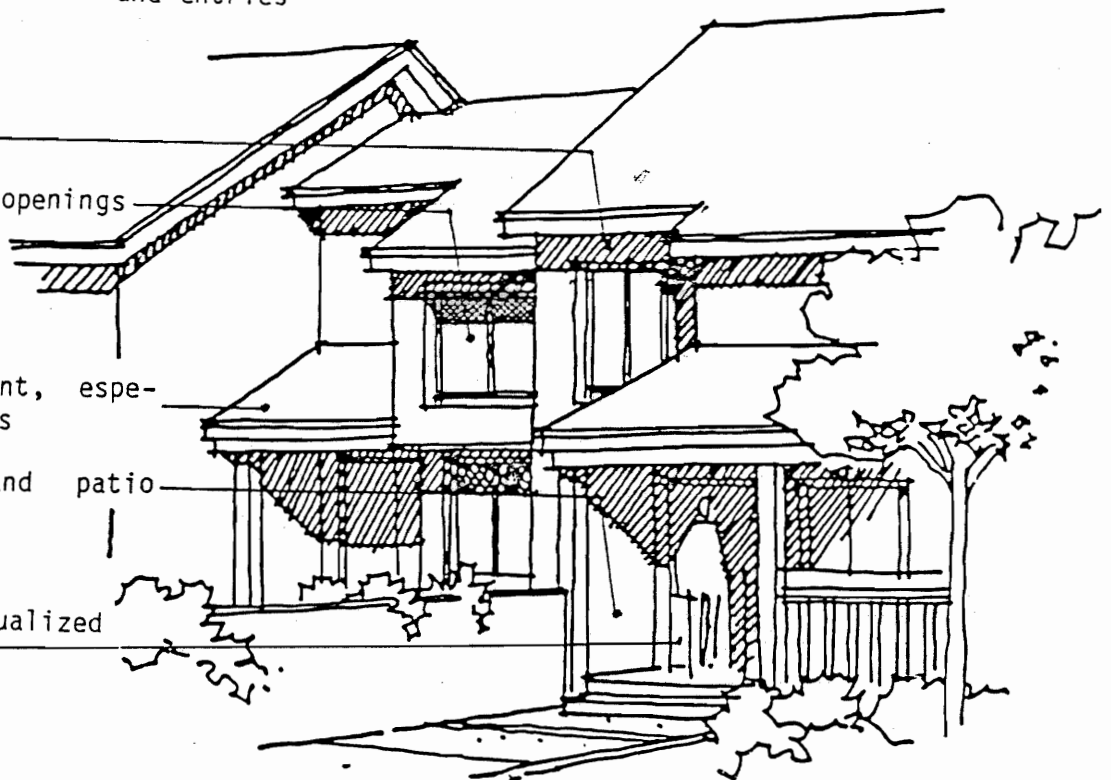
Roof overhangs

Recessed window openings

One-story element, especially at entries

Front porch and patio walls

Protected, individualized entry



MULTI-FAMILY DESIGN

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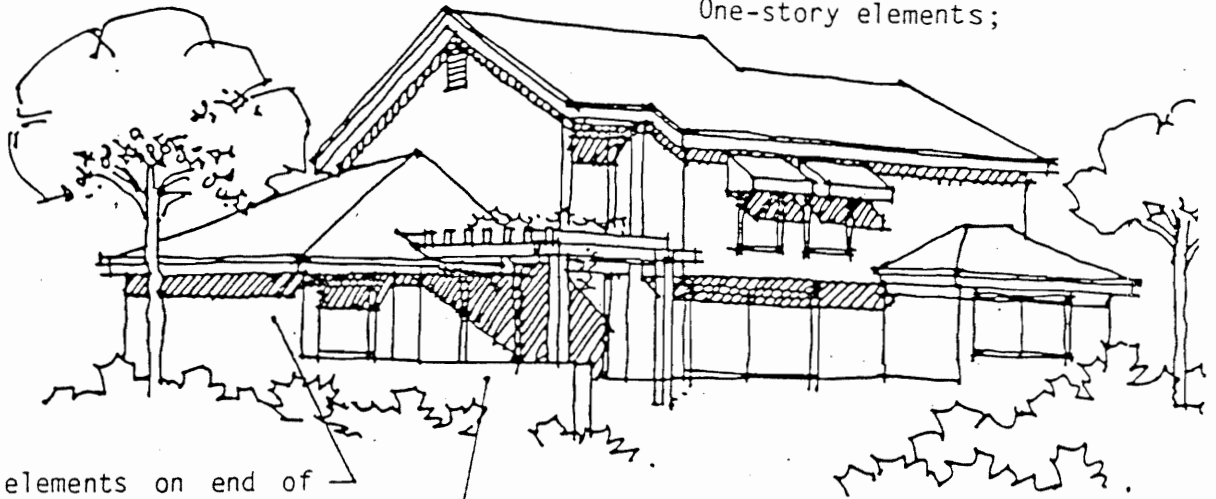
FIGURE 4.73



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Two-story forms can be softened by:

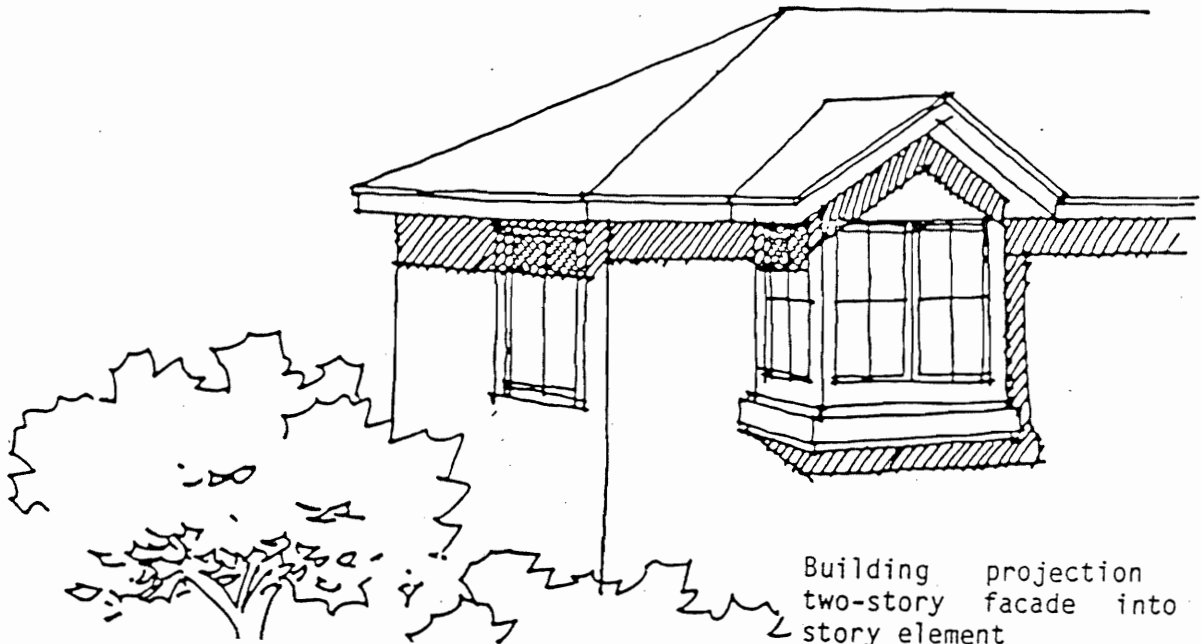
One-story elements;



One-story elements on end of buildings are especially desirable

Patio wall with overhead cover (trellis) desired design element

cantilevered floor areas;



Building projection turns two-story facade into one-story element

MULTI FAMILY / SINGLE FAMILY DESIGN

RIO VISTA **FirstCity**

FIGURE 4.74



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4. Flat and unarticulated building elevations will be discouraged within the project. The use of articulated design techniques such as patios, balconies, stairwells and chimneys is encouraged to provide an interesting visual relief.
5. The use of recessed and projected design elements will be encouraged for visual relief.
6. The architectural technique of using one story elements at the ends of some two-story buildings to soften the building massing and height shall be encouraged.

c. Roof Form and Material

1. The use of hip or hip gable combinations are the preferred roof types for the Rio Vista project. The use of an all flat roof will not be allowed, and the use of mansard roofs shall be discouraged. A combination of a flat and hip/hip gable roof utilized in an approved design is acceptable to the project standards (see Figures 4.75 - 4.76).
2. Changes in roof pitch and eaves should be accomplished by the use of offsets in the plan design. The minimum vertical distance allowed between roof planes is one (1) foot.
3. The pitch of the roof slopes should remain shallow to minimize the visual massing of buildings.
4. Broad, generous roof overhangs should be provided in response to climatic conditions, particularly at openings, porch enclosures, balconies and window recesses. These should be oriented to achieve some passive solar energy benefits.
5. The use of dormer styled windows, chimneys and other projections should be used to articulate roof forms.
6. The use of clay or concrete tiles are required on all roofs. Decorative tiles in Spanish motifs are encouraged.

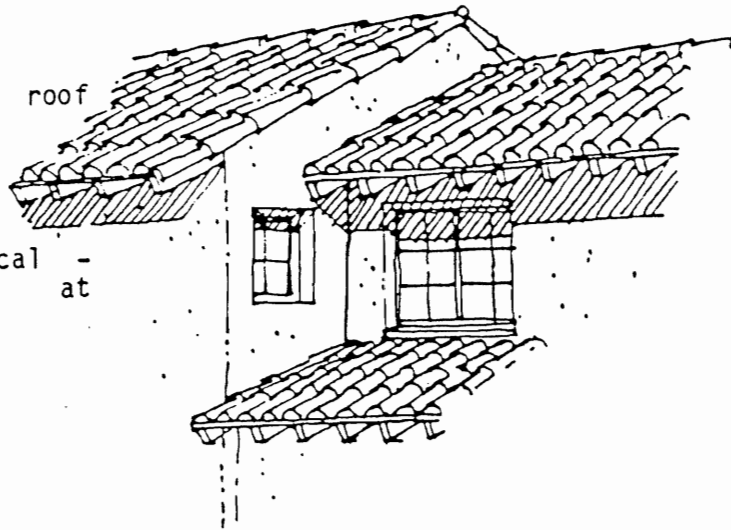
7. To lessen the effect of the building mass on the rear yards, a single story roof plate line should be used on a portion of the rear facade.



Change in roof pitch or eave heights shall be accomplished by offsets in plan. A desired minimum vertical distance between roof planes is one foot.

Maintain offsets at roof plane changes

Roof overhangs - typical - especially desirable at openings



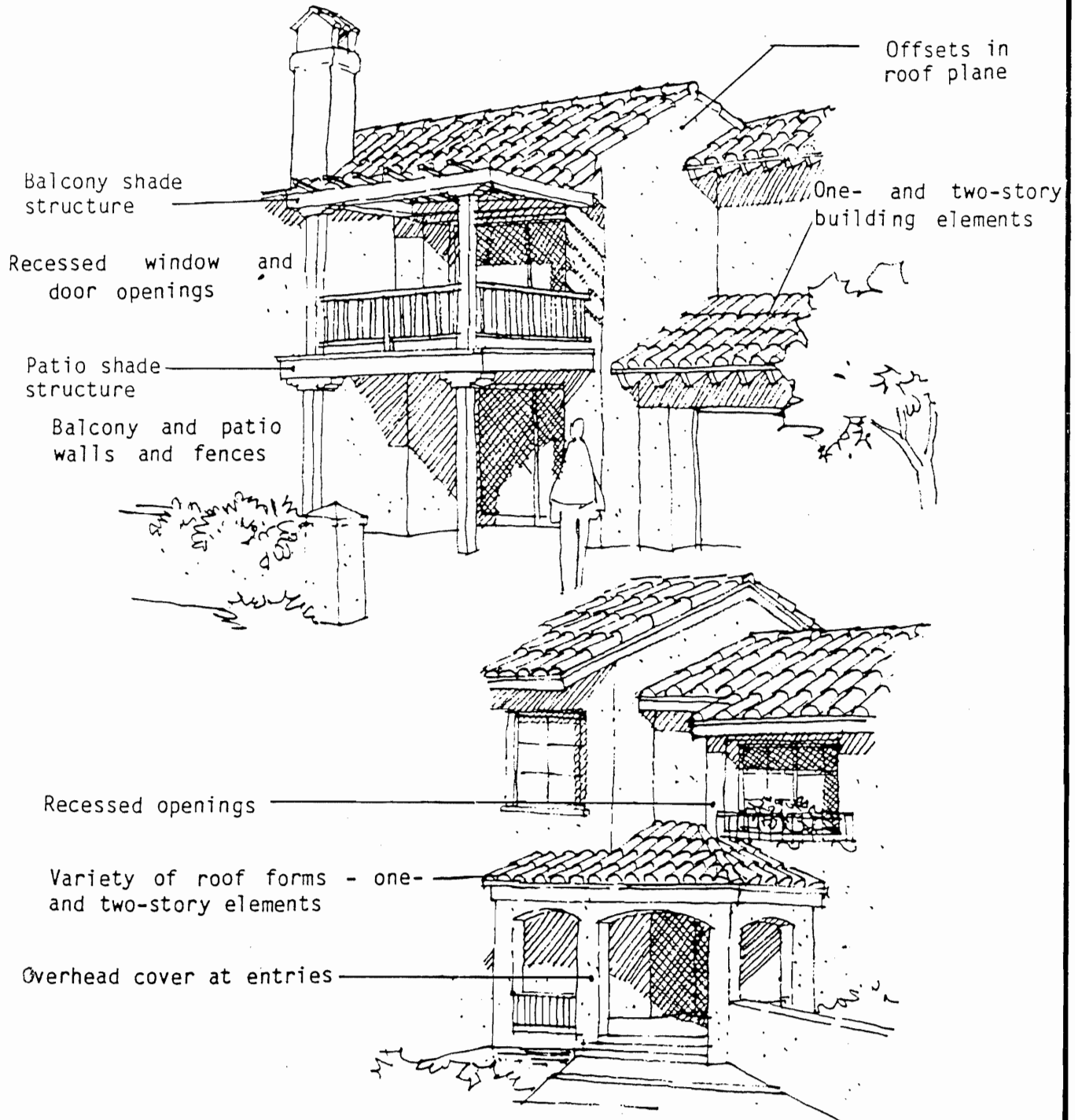
SINGLE FAMILY DESIGN
RIO VISTA *FirstCity*

FIGURE 4.75



FLORIAN MARTINEZ ASSOCIATES

Overhangs are encouraged as a response to the climatic conditions, especially when used in combination with porch enclosures, balconies, and window recesses.



8. Minimizing the gabled roof conditions alongside elevations will allow light into the side yards and will minimize the impact of combining two story components.

d. Shading

1. Overhead shade structures should be incorporated whenever appropriate in response to the hot climatic conditions of the Jurupa region of Riverside County.
2. The use of shade trees to provide a canopy effect shall be encouraged to mitigate the effects of the climate and to soften the building mass.

e. People Gathering Spaces

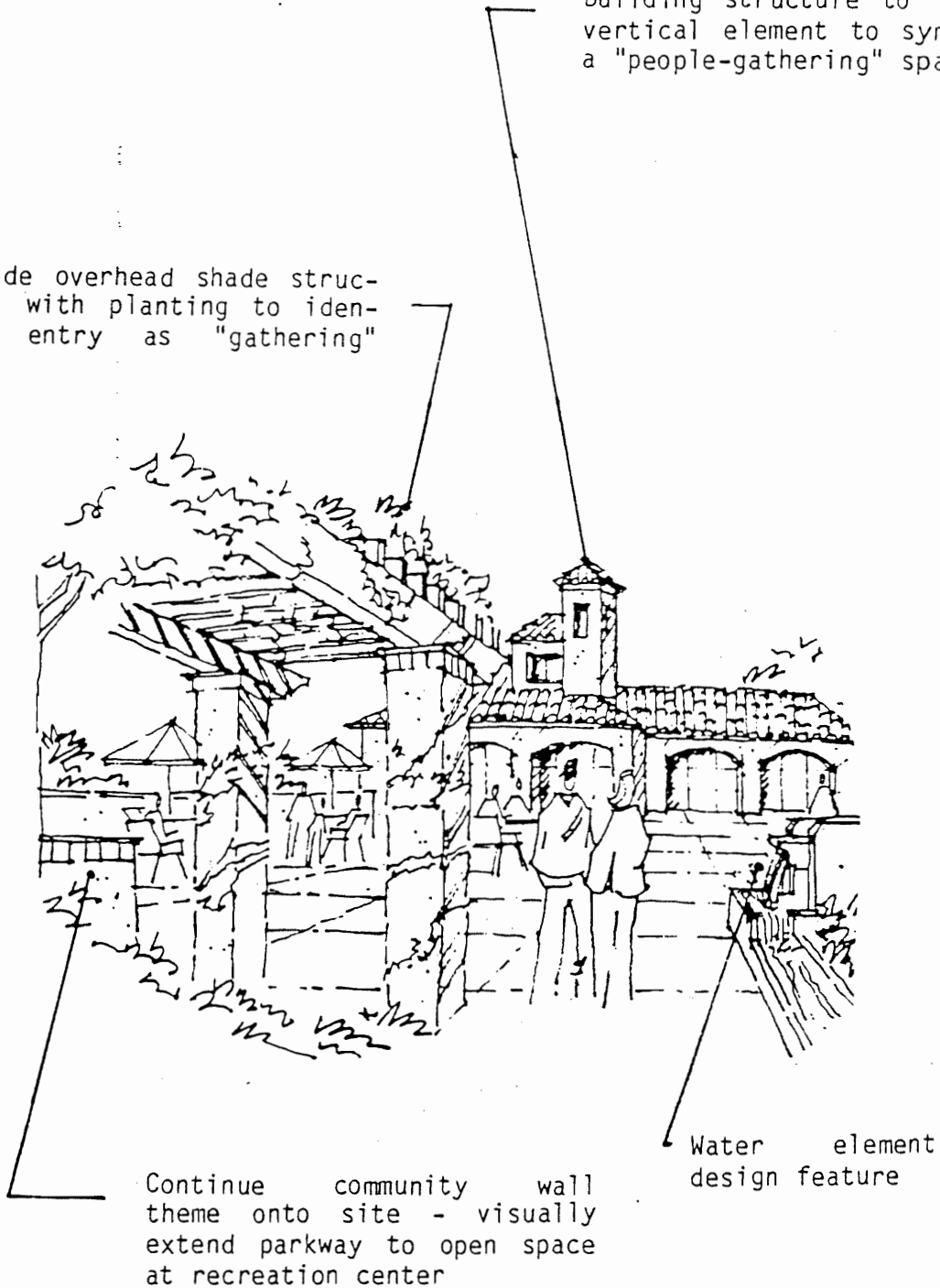
1. The use of vertical elements in building structures to symbolize a "people-gathering" space (see Figure 4.77).
2. The use of water features may be encouraged. Its visual character, sound and motion will provide a unique and serene identity. The scale of water features may vary depending on the scale of the intended use and placement within the overall design scheme.
3. The development of suitable areas within the pedestrian areas with benches and shade is encouraged as a visually appealing and desirable amenity feature for the use of project residents.

f. Building Materials and Colors

1. The exterior building materials shall consist of natural materials that are consistent with, and further enhance, the Mission Style Architecture and hillside character of the Rio Vista Planned Community.
2. The use of colors that are consistent with and compliment the building materials and the indigenous elements of the environment are encouraged. The use of color in the design concept is considered to be a primary theme element of the project.

Building structure to include vertical element to symbolize a "people-gathering" space

Provide overhead shade structures with planting to identify entry as "gathering" space



Water element design feature

Continue community wall theme onto site - visually extend parkway to open space at recreation center

COMMERCIAL DESIGN
RIO VISTA **FirstCity**

FIGURE 4.77



FLORIAN MARTINEZ ASSOCIATES

3. Color accents are encouraged which are darker or lighter to highlight the character of the structure.

4.3.4 RESIDENTIAL GUIDELINES

The purpose of this section is to supplement the minimum criteria found in Section 3, the Specific Plan Zoning Ordinance of this document. In addition to the Specific Plan criteria, all applicable County of Riverside requirements for the development of any part of this project must be satisfied with the responsibility being that of the merchant builder to conform and implement the County Standards.

The location and land uses within the Specific Plan area is based on a master planned community/neighborhood concept. This concept establishes neighborhoods that focus around a series of parks, connected by an interior community loop road which provides access to the various recreational opportunities of the community such as parks, schools, open space areas and hiking and equestrian trails, as well as the commercial areas.

a. Planning Standards

1. Residential units

- o A mixture of residential land uses, housing types and prices will be provided.
- o The residential land uses will be buffered from the following areas and differing land uses:
 - High volume traffic corridors
 - Schools
 - High density residential adjacent to low density residential uses
 - Commercial uses
- o The design of the single-family residential lots shall provide for rear yard privacy and security.
- o Residential cul-de-sacs shall be designed to front on neighborhood or community open space and trail systems wherever deemed feasible.
- o The use of energy efficient designs, utilizing the elements of passive solar