

#### 4.2.3 PLANNING AREA 3 - LOW DENSITY RESIDENTIAL

##### a. LAND USE

Planning Area 3, as illustrated in Figure 4.19, is planned for 37 acres of Low Density Residential (0-2.4 DU/AC) land use. A maximum total of 79 single-family detached dwelling units are planned at a density of approximately 2.1 DU/AC. The planning area is adjacent to fifteen acres of natural open space, and across "B" Street from a neighborhood park and an elementary school site. The school and the park site will increase the recreational opportunities of the planning area residents.

##### b. DEVELOPMENT STANDARDS

1. Zoning and specific development standards are defined in detail in Section 3 of the Rio Vista Specific Plan contained in this document. Section 3 is in conformance with and references, the Riverside County Ordinance 348.2857.
2. Access to Planning Area 3 is planned to be achieved from "B" Street on its eastern boundary. Final access points will be determined at the time of the tentative tract map submittal.
3. For Community, Architecture, or Residential Design Guidelines, refer to Section 4.3, "Design Guidelines" of this document.
4. A theme wall (see Figures 4.70) will be constructed adjacent to the Planning Area along "A " and "B" Streets.
5. View fencing (see Figures 4.71) will be constructed along the westerly boundary between the Planning Area and the adjacent Planning Area 2, Open Space area.
6. The residential units will be clustered in enclaves to protect the natural terrain of the planning area and to take advantage of the viewscape.

# PLANNING AREA 3

LOW RESIDENTIAL  
10,000 SFD

AC 37

DU 89

DU/AC 2.4

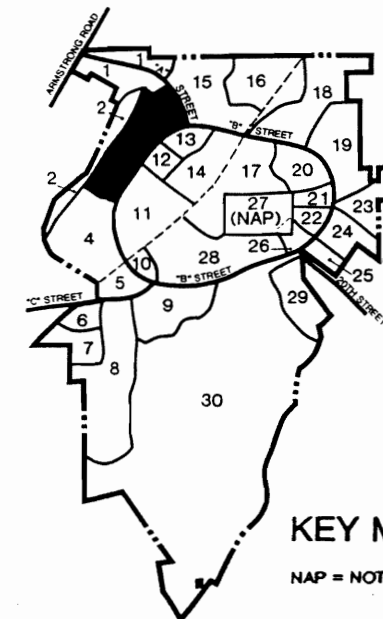
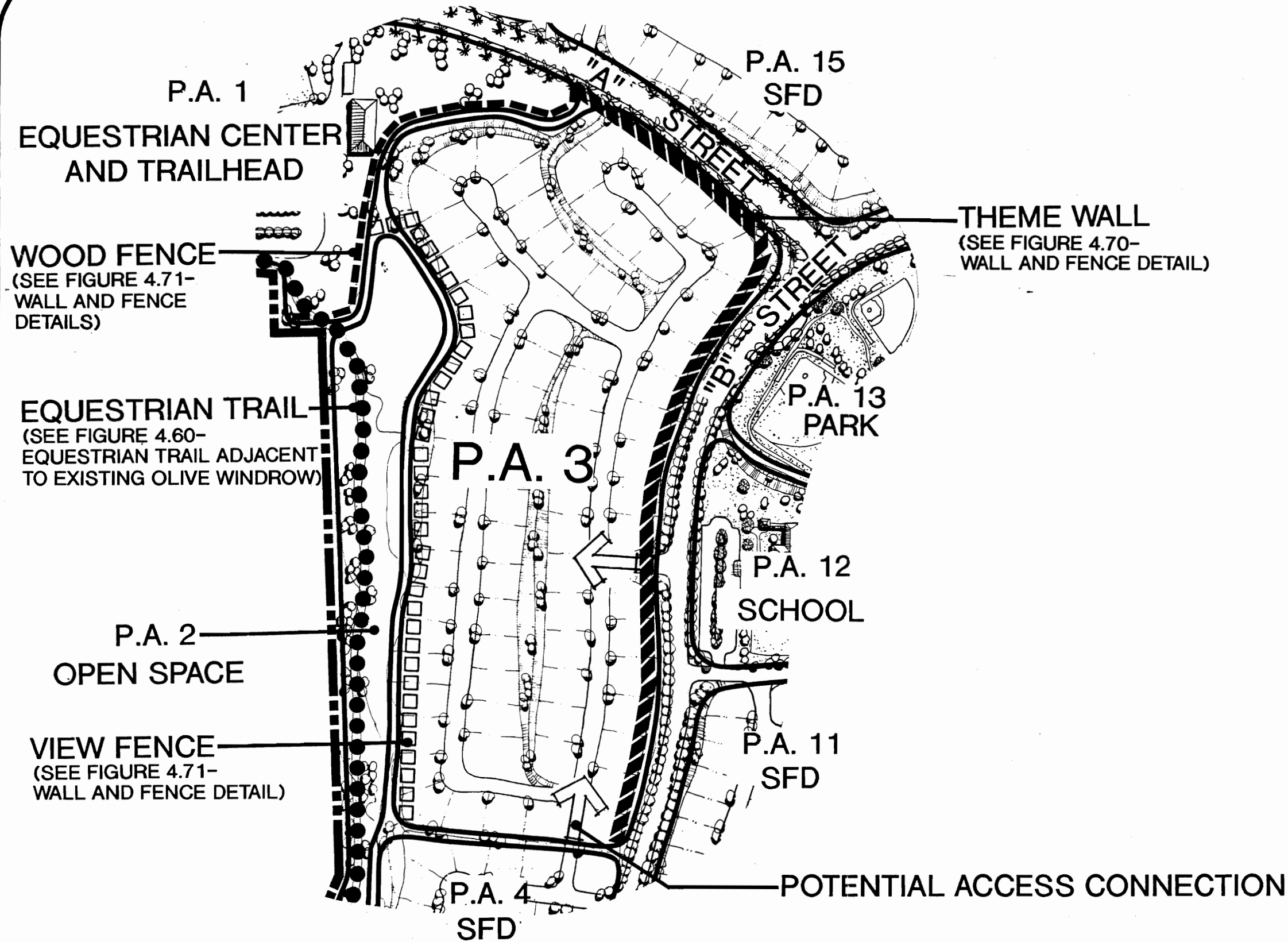


FIGURE 4.19