

- f) Graded but undeveloped areas proposed for future development will be maintained in a weed-free condition.
- g) Landscaping, in accordance with the approved landscape plans shall be installed prior to occupancy of structures. If seasonal conditions do not permit planting, interim erosion control measures shall be approved by the County.

#### **4. Walls and Fences**

The network of walls and fences for the I-15 Corridor Specific Plan serves to promote the identity of the project while separating individual or incompatible uses. Walls and fences, like the plant materials, provide design character and function to visually unify the divergent land uses into one definable project. A hierarchy of wall and fencing types has been developed for various purposes as follows:

- Perimeter Wall
- Theme Wall
- Perimeter Fence
- Equestrian Fence

The I-15 Corridor Wall and Fencing Plan is illustrated in Exhibit IV-34, and wall and fencing details are shown on Exhibit IV-35 and Exhibit IV-36.

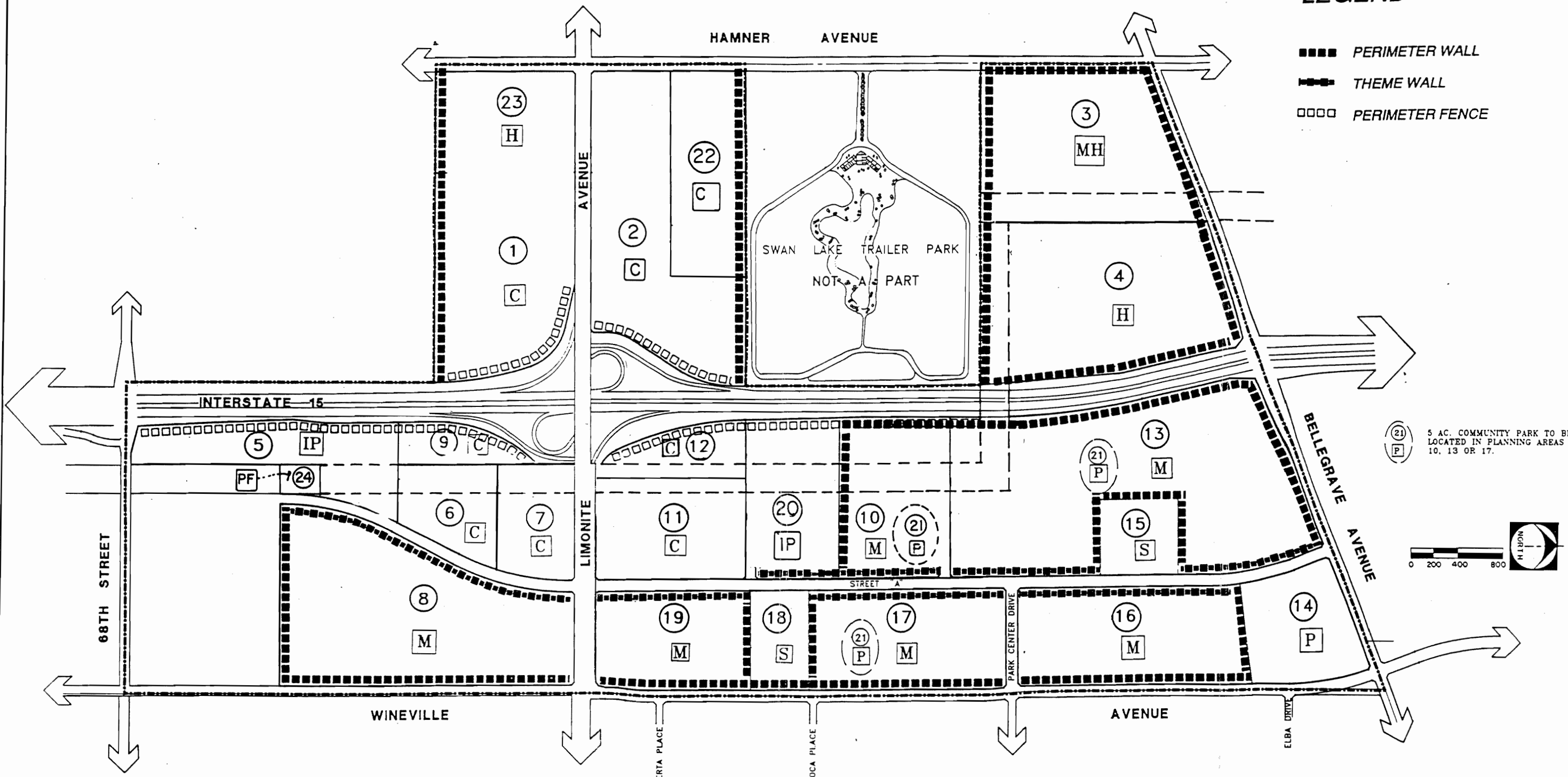
Two material types have been chosen as design elements to provide this continuity: (1) Taupe-colored, split-face block; and (2) Pre-cast concrete. Of these materials, split-face block is the primary material from which solid wall panels, and wall/fence pilasters are constructed. Concrete is the basis for pre-cast wall/pilaster caps and split-rails for fences. The use of these materials in various combinations create the specific designs for each of the above-mentioned categories.

##### 1) Wall and Fence Standards

- a) Fence and wall heights shall generally be as tall as those objects or areas they are intended to visually screen, however, no fence or wall shall exceed three feet in height within any required front setback area, or exceed six feet in height within any required side or rear setback area. Sound attenuation barriers may be exempted from these standards upon County approval.
- b) Where a commercial use abuts property in any residential zone, a masonry wall six feet in height and screen landscaping five feet in width shall be erected and maintained between such uses and the residential zone (see Exhibit IV-32 and Exhibit IV-33).
- c) Fences and walls shall be utilized to visually screen and/or physically enclose outdoor storage areas, loading docks and ramps, transformers, storage tanks, and other appurtenant items of poor visual quality.

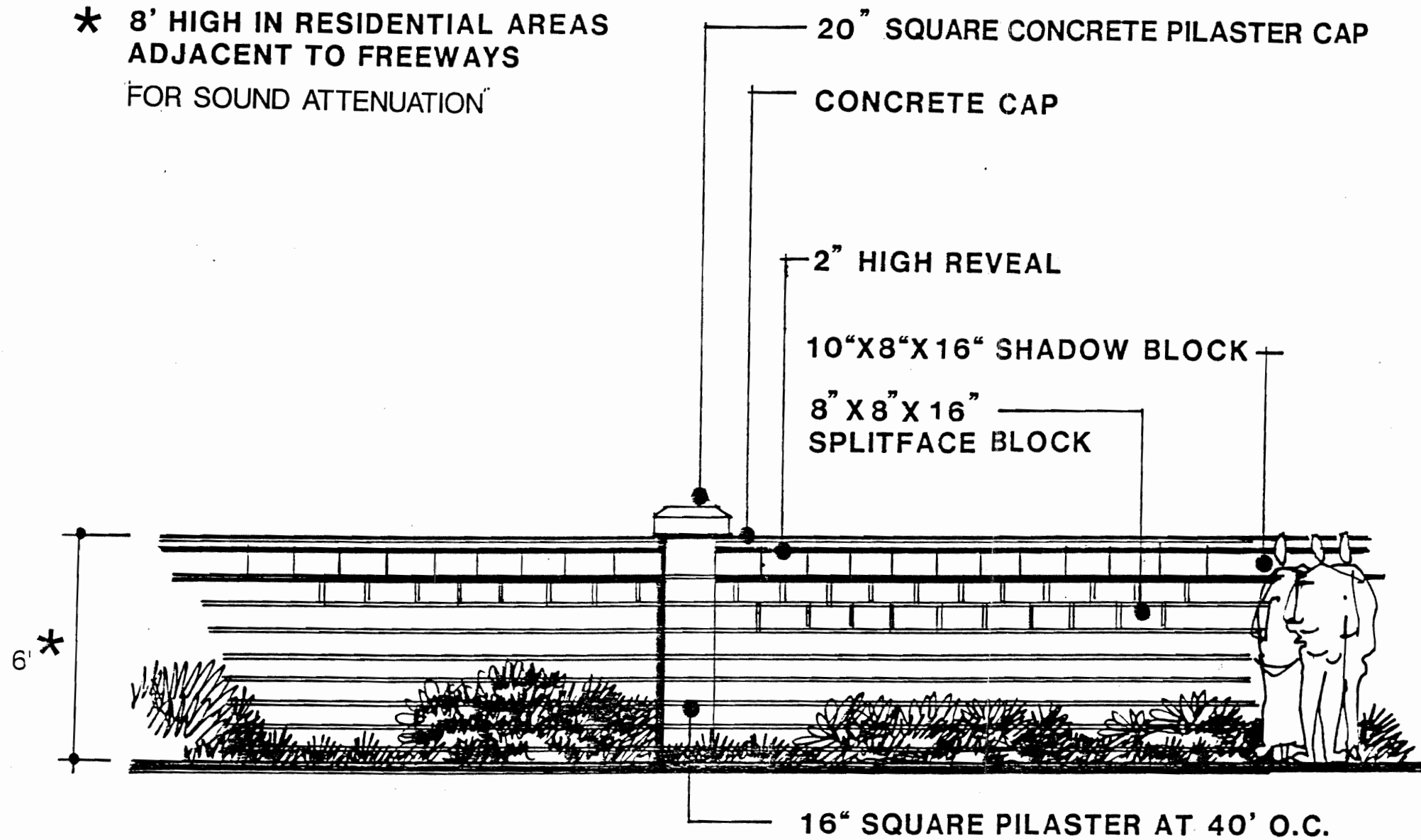
**LEGEND**

- PERIMETER WALL
- ▬▬▬▬ THEME WALL
- PERIMETER FENCE



**WALL AND FENCE PLAN**  
**I - 15 CORRIDOR SPECIFIC PLAN**  
 SPECIFIC PLAN 266  
 AMENDMENT NO. 1

\* 8' HIGH IN RESIDENTIAL AREAS  
ADJACENT TO FREEWAYS  
FOR SOUND ATTENUATION



PERIMETER WALL  
ELEVATION

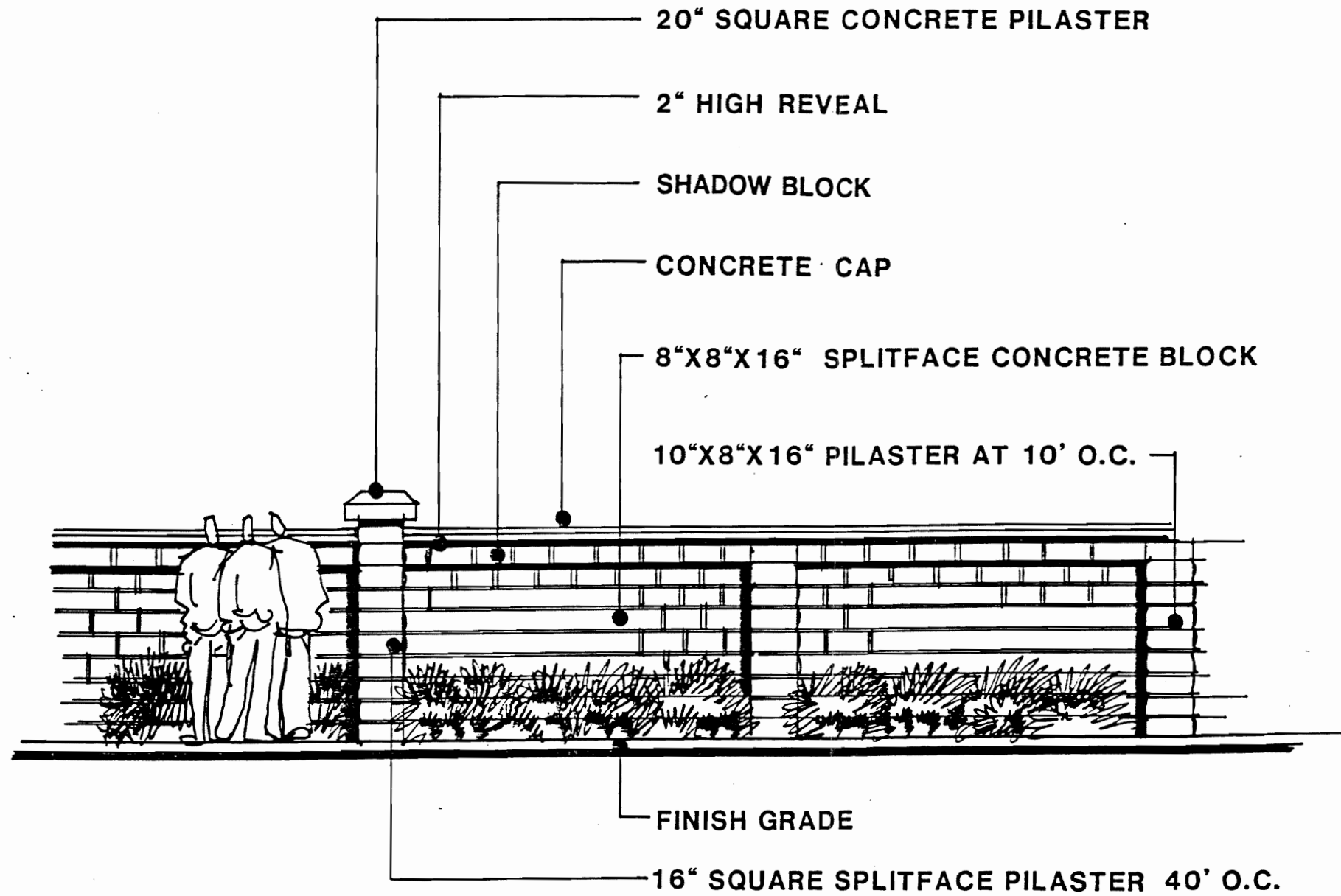
I - 1 5 C O R R I D O R S P E C I F I C P L A N

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EXHIBIT IV-35  
IV-100



THEME WALL  
ELEVATION  
P L A N

I - 1 5      C O R R I D O R      S P E C I F I C

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EXHIBIT IV-36  
IV-101

- d) Fences and walls shall be used on the perimeter of properties to define property limits, separate use areas, and provide on-site security. Fencing, walls, and other structural barriers shall be designed of similar materials, colors and general style as the primary buildings on a site.

## **D. IMPLEMENTATION PROGRAMS**

Although the I-15 Corridor Specific Plan will be implemented through a variety of approval steps (i.e., zoning, site plans, parcel and tentative tract maps, etc.), the primary implementation tool is the Specific Plan itself which establishes the character of development through the definition of plan features, development standards and design concepts.

These plan features, development standards and design concepts have been described in Section IV. Together, they provide the framework for formulating Design Guidelines and development standards to be used at the site specific planning level to ensure that the intent of the Specific Plan is realized. The design concepts, plan features, Design Guidelines and development standards establish a basis upon which all subsequent implementing planning decisions can be based, and a criteria for determining consistency of site specific design with the Specific Plan.

### **1. Zoning/General Plan**

Rezoning of the property will be necessary to bring the zoning designation into conformance with the Land Use Development Plan adopted as a part of the Specific Plan. A change of zone application has been filed and is being processed concurrently with this Specific Plan that will apply to those areas where the agricultural preserve status has expired. A subsequent zone change request will be required for those areas still under agricultural preserve status. The Zone Change request is from the present designation of A-2-10 (Heavy Agriculture - 10-acre minimum) to SP (Specific Plan).

A General Plan Amendment has been submitted to the County for concurrent review with the Specific Plan and the Draft Environmental Impact Report. The Amendment will change the General Plan designation of the site from 1B (high), 2A (medium-high), 2B (medium) and C (commercial) designations to a Specific Plan designation.

### **2. Review Procedures**

The I-15 Corridor Specific Plan shall be implemented through the Parcel Map, the Tentative Tract Map and Site Plan Review process.

Subsequent to the approval of the Specific Plan and prior to, or concurrent with, the initial Tentative Tract Map, Site Plan Review, a Parcel Map may be submitted. The Parcel Map submittal will meet all requirements stipulated by the Subdivision Map Act. All lots created by parcel maps shall be consistent with the area specifications for the planning areas within the