

- IV.A.1. Land Use Plan
- IV.A.2. Circulation Plan
- IV.A.3. Drainage Plan
- IV.A.4. Water & Sewer Plans
- IV.A.5. Project Phasing & Public Facility Sites
- IV.A.6. Grading Plan
- IV.A.7. Open Space & Recreation Plan
- IV.A.8. Landscaping Plan
- IV.A.9. Comprehensive Maintenance Plan
- IV.A.10 Schools Plan
- IV.A.11 Development Monitoring Program

9. Planning Area 9: Medium Density Residential

a. Descriptive Summary

Planning Area 9, as shown in Figure IV-27, provides for the development of medium density residential units with a range of 2.0 - 5.0 du/ac, on a total of 36.2 acres, and a target range of 3.9 du/ac providing for a maximum of 142 units with a minimum lot size of 7,200 s.f.

A typical site plan for medium density residential development is depicted in Figure IV-49.

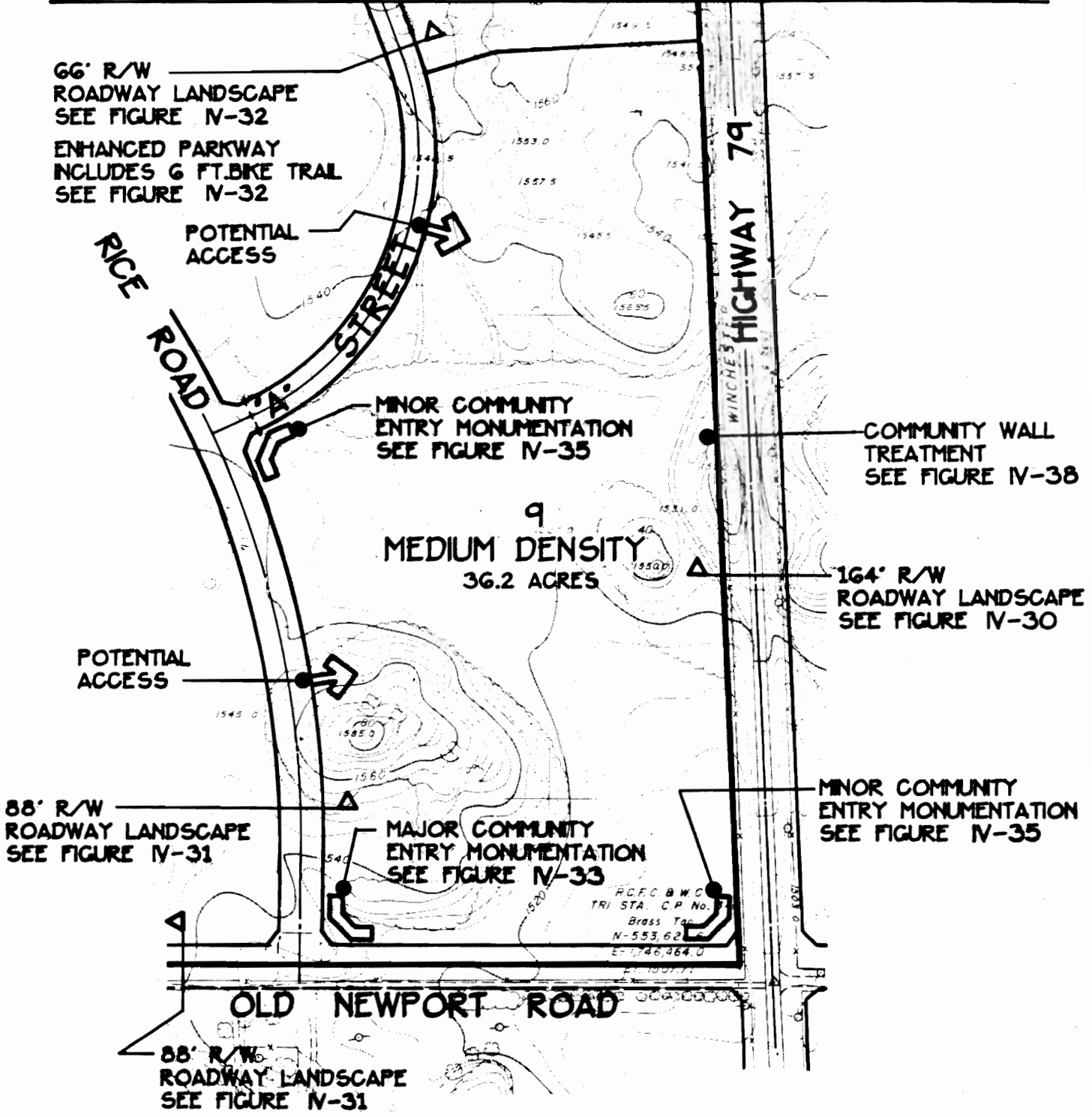
b. Land Use and Development Standards

The uses permitted in Planning Area 9 shall be residential, as set forth in the Specific Plan Zoning Text (Ordinance No. 348), included as Section III of this Specific Plan.

c. Planning Standards

1. Primary access to Planning Area 9 shall be provided from "A" Street and Rice Road. Limited access will occur within minimum distances from the major intersections adjacent to the planning area, per County of Riverside Transportation Department standards.
2. A major community entry monumentation at the intersection of Rice Road and Old Newport Road.
3. Major community monumentation shall be located at the intersection of Rice Road and "A" Street as depicted in Figure IV-36.
4. Neighborhood entry monumentation is permissible at the access points to Planning Area 9 along "A" Street and Rice Road, as depicted in Figure IV-36.

PLANNING AREA 9



THE CROSSROADS IN WINCHESTER SPECIFIC PLAN

5. Roadway landscape treatments shall be located along "A" Street and Rice Road, as depicted in Figure IV-32;
6. Pedestrian access openings from internal streets and cul-de-sacs onto pedestrian parkways of major roads bordering the Planning Area are encouraged, to promote alternatives to automobile use for transportation within the Specific Plan, when compliance with applicable building and safety, fire, transportation and other codes is attainable for such access openings.
7. A community wall edge treatment is planned along the borders of the Planning Area, as shown in Figure IV-37, serving as a buffer between the residential uses of this Planning Area and the adjacent roadway or land uses. If a slope condition occurs between land uses or next to a roadway, a view fence as depicted in Figure IV-38 is encouraged to be used where the slope transition to the adjacent use is greater than half the height of the wall.
8. All standards and limitations which apply site-wide from Section IV.A "Development Plans & Standards" are applicable to Planning Area 9 as well:

- IV.A.1. Land Use Plan
- IV.A.2. Circulation Plan
- IV.A.3. Drainage Plan
- IV.A.4. Water & Sewer Plans
- IV.A.5. Project Phasing & Public Facility Sites
- IV.A.6. Grading Plan
- IV.A.7. Open Space & Recreation Plan
- IV.A.8. Landscaping Plan
- IV.A.9. Comprehensive Maintenance Plan
- IV.A.10 Schools Plan
- IV.A.11 Development Monitoring Program

10. Planning Area 10: Medium Density Residential

a. Descriptive Summary

Planning Area 10, as shown in Figure IV-27A, provides for the development of medium density residential units with a range of 2.0 - 5.0 du/ac, on a total of 20.4 acres, and a target range of 3.9 du/ac providing for a maximum of 80 units with a minimum lot size of 7,200 s.f.

A typical site plan for medium density residential development is depicted in Figure IV-49.