

2. Fences

Wood fence materials must be of sufficient quality to accent semi-transparent stains. Two-sided fencing shall be used whenever visible from a public street.

3. Conditionally Acceptable Wall and Fence Materials

Glass and/or heavy break-resistant plastic are acceptable for use in fences and walls when necessary to preserve views while providing protection against wind, sound, etc.

4. Prohibited Wall and Fence Materials

Barbed wire, wire, electrically charged fences, plain exposed concrete block, plastic materials, corrugated metal, chain link and grapestake fencing are prohibited. Wood fencing left in an unstained condition is also prohibited.

4. Community Land Use Edge Treatments

a. Transitions

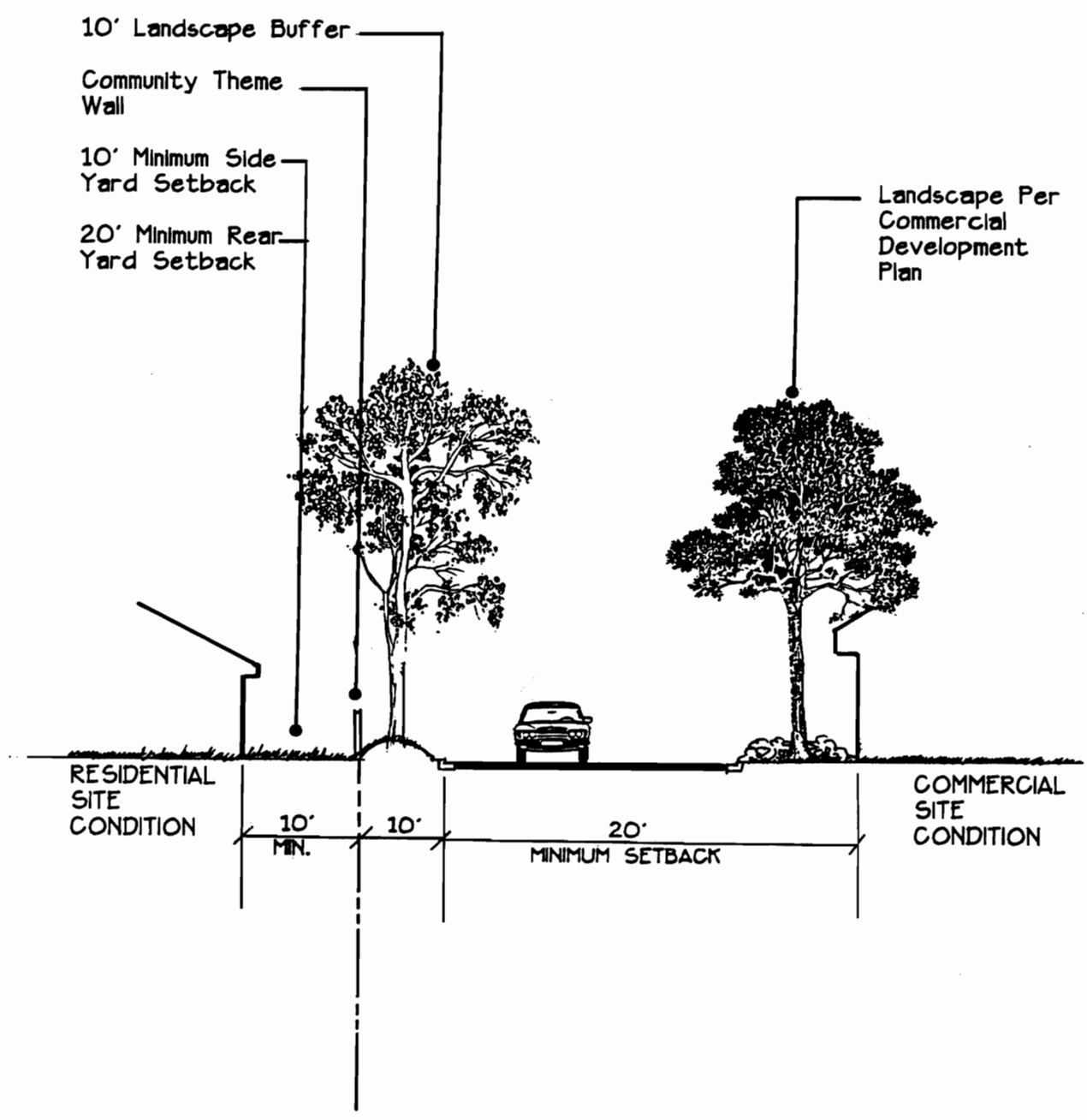
Where designated zoning uses of different application abut one another throughout The Crossroads in Winchester Specific Plan, land use edge treatments are described, and illustrated in the figures as indicated. Most transition edges are defined through the use of hardscape and landscape elements, in conjunction with prescribed setbacks. Such elements shall be compatible with the architectural and design character of the structures they buffer.

1. Residential to Commercial Use - (see Figure IV-39)

Where residential land uses adjoin commercial land uses, a minimum ten foot (10') wide landscape zone, community theme wall and twenty foot (20') drive setback are required. The ten foot landscape zone and drive setback will be installed on the commercial side of the community wall and will be privately maintained. The setback for structures on the residential side will be governed by the zoning ordinance in effect. Landscape zones will be planted with evergreen grove trees, shrubs and groundcover.

2. Residential to Park, Public Facilities - (see Figure IV-40)

In this transition, the park or public facility shall have a ten-foot wide landscape development zone adjacent to the residential use, planted with evergreen tree groves and shrub or groundcover. Up-slope conditions to the residential shall have evergreen background trees clustered near



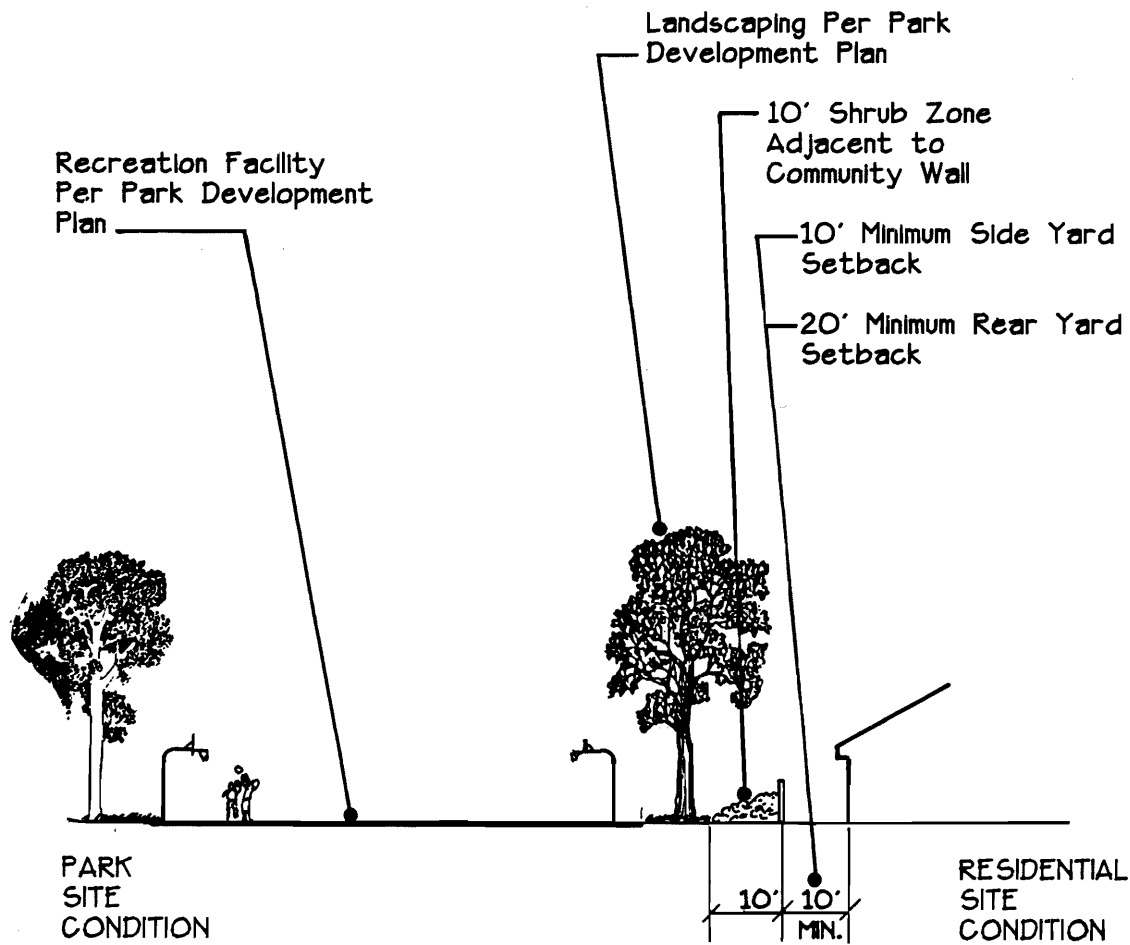
THE CROSSROADS IN WINCHESTER SPECIFIC PLAN

 **Lohr + Associates Inc**

FIGURE

RESIDENTIAL
TO COMMERCIAL
LAND USE EDGE

IV-39



THE CROSSROADS IN WINCHESTER SPECIFIC PLAN

 Lohr + Associates Inc

FIGURE

RESIDENTIAL TO
PARK LAND USE EDGE

IV-40

property lines and shrubs located downslope, all configured in such a way so as not to obstruct, but to enhance, views. A community theme wall six feet high shall be constructed on the property line; in an upslope condition the wall may be an open view fence.

6. Pedestrian Paseo to Other Land Uses - (see Figure IV-41)

The pedestrian paseo shall have a minimum landscape width of 30 feet. Both sides of the paseo shall have a minimum of four feet of landscape, including shade and deciduous trees planted in lineal patterns along the paseo sidewalk, to maximize shade. Groundcover shall include shrubs and/or turf, depending on the slope condition. A community theme wall shall be erected on either side of the paseo, with breaks in the wall occurring where access to other paseos or public sidewalk are necessitated (see Figure IV-42); in upslope conditions exceeding eight feet in height, a view or open wall may be used. The minimum width of concrete sidewalk used in the paseo shall be eight feet wide, and may be 12 feet wide where a combination pedestrian/bicycle path is desired.

7. Residential to Salt Creek Channel Land Use (see Figure IV-42)

Where the Salt Creek Channel adjoins the residential planning areas, a community theme wall will be constructed at the property line between the residential land uses and the Channel.

8. Retail/Commercial Buffer on Roadway (see Figure IV-43)

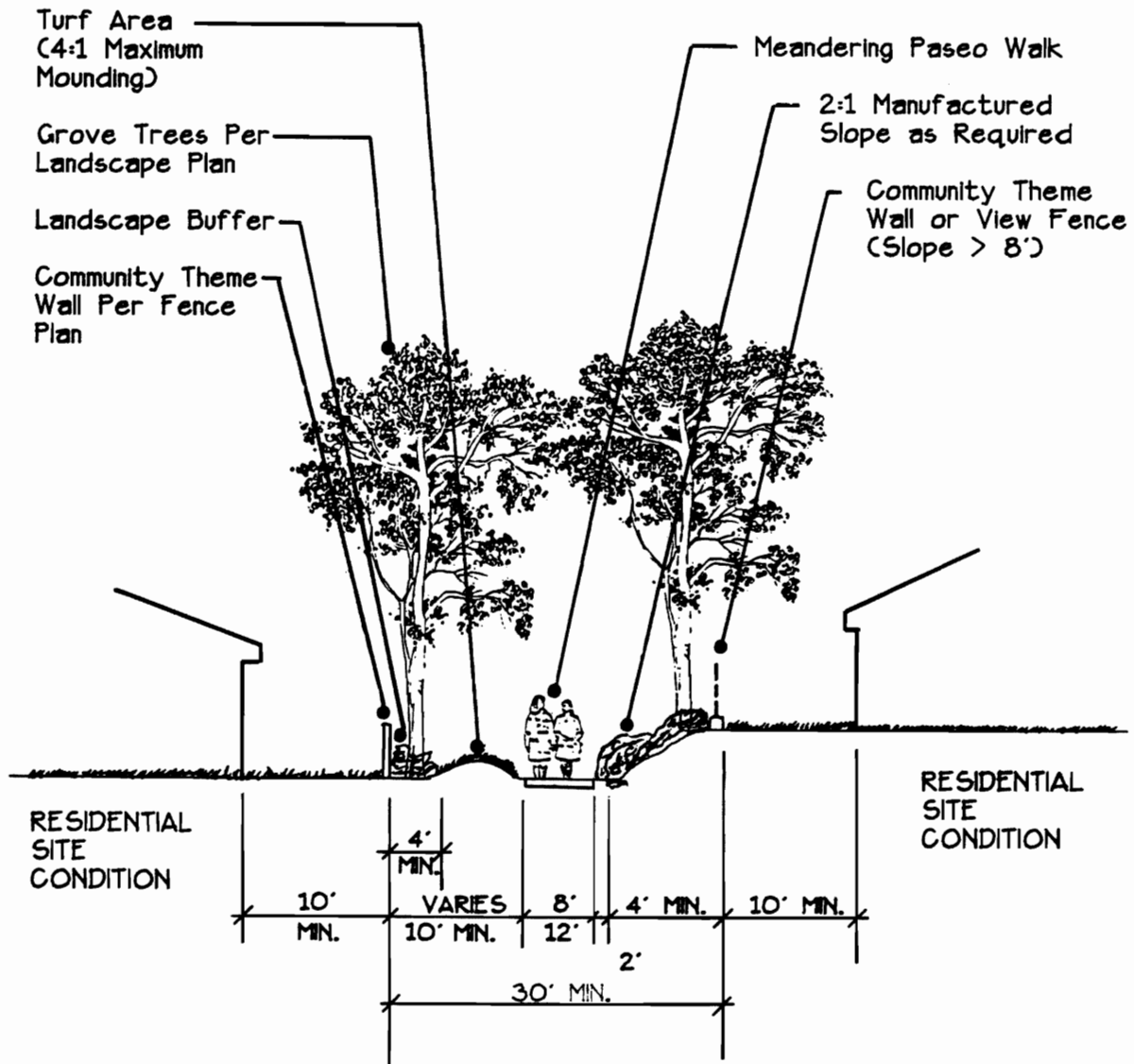
Retail/commercial land uses shall be buffered from the street or roadway view by a 22-foot wide landscape zone between the curb and the retail parking facilities. A sidewalk and turf parkway shall be constructed adjacent to the curb; the sidewalk shall be a 12-foot wide, concrete-enhanced pedestrian/bike parkway immediately adjacent to the curb. The landscape buffer shall consist of a turf mound with groundcover and accent trees, within a minimum ten-foot wide section.

9. Residential to Open Space Land Uses

Where residential land uses adjoin open space land uses, a community theme wall (Figure IV-44) is required. The community wall shall be maintained by a master maintenance organization such as CSA 146 or other public/private entity.

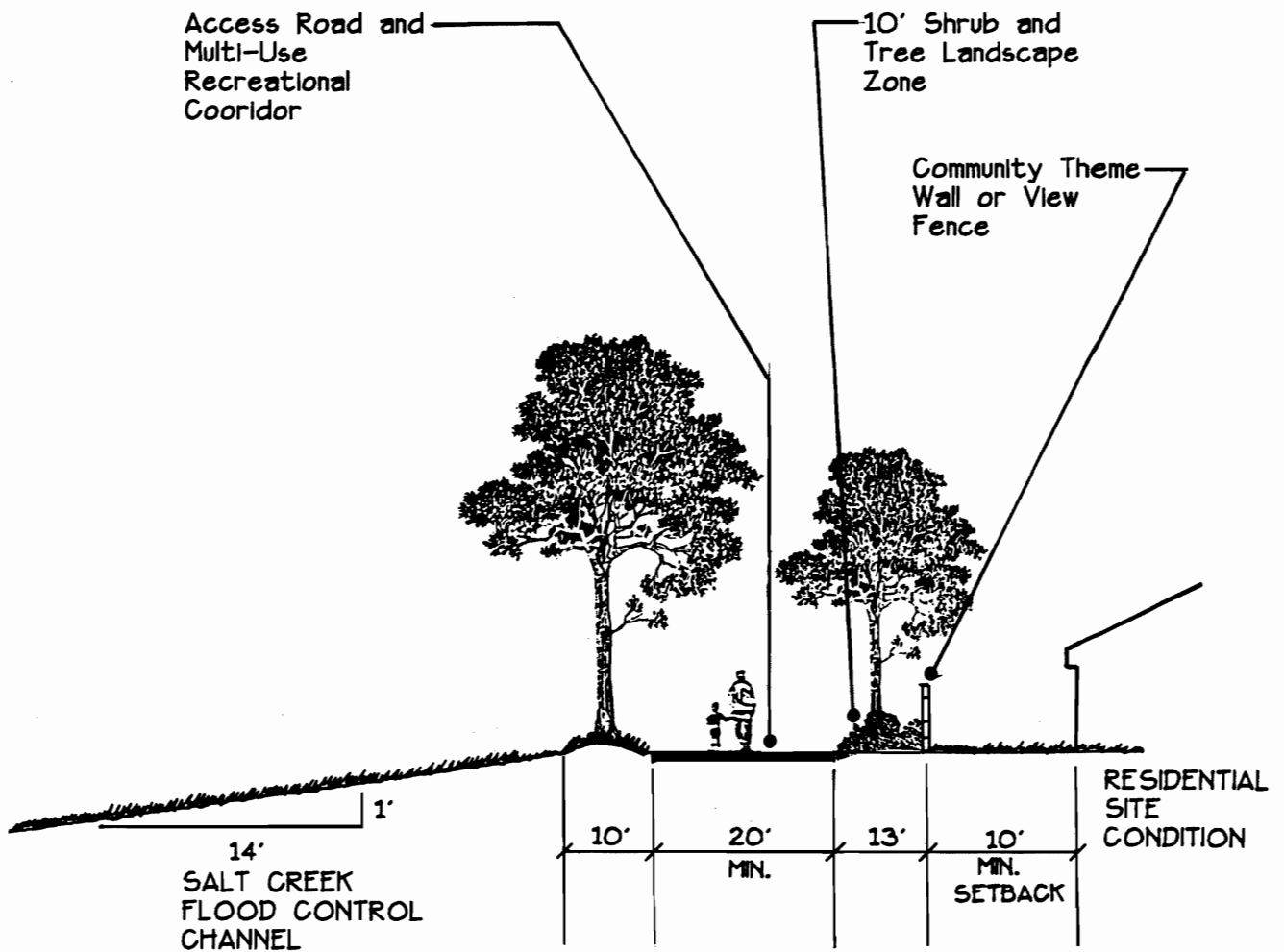
10. Hillside Area / Fire Hazard Area - (see Figure IV-44)

The Riverside County Fire Code requires a fire fuel modification zone be maintained along the residential edge at the natural open space area. A fire fuel modification zone shall be established to replace the naturally



- * 8' Pedestrian Paseo
- 12' Pedestrian / Bicycle Paseo

THE CROSSROADS IN WINCHESTER SPECIFIC PLAN



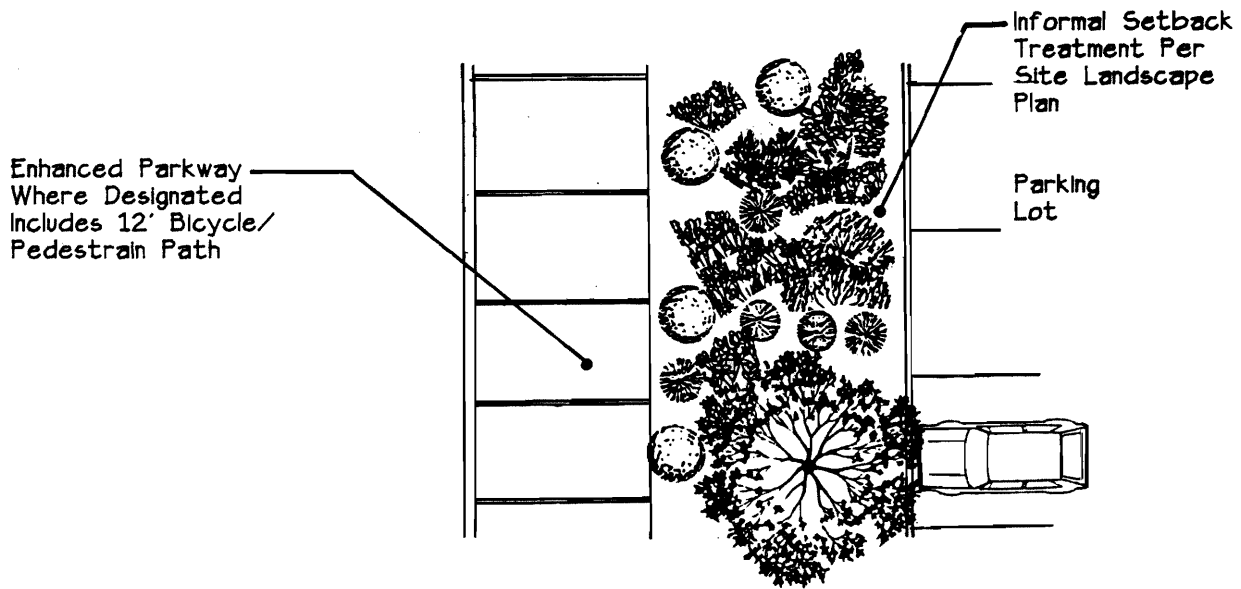
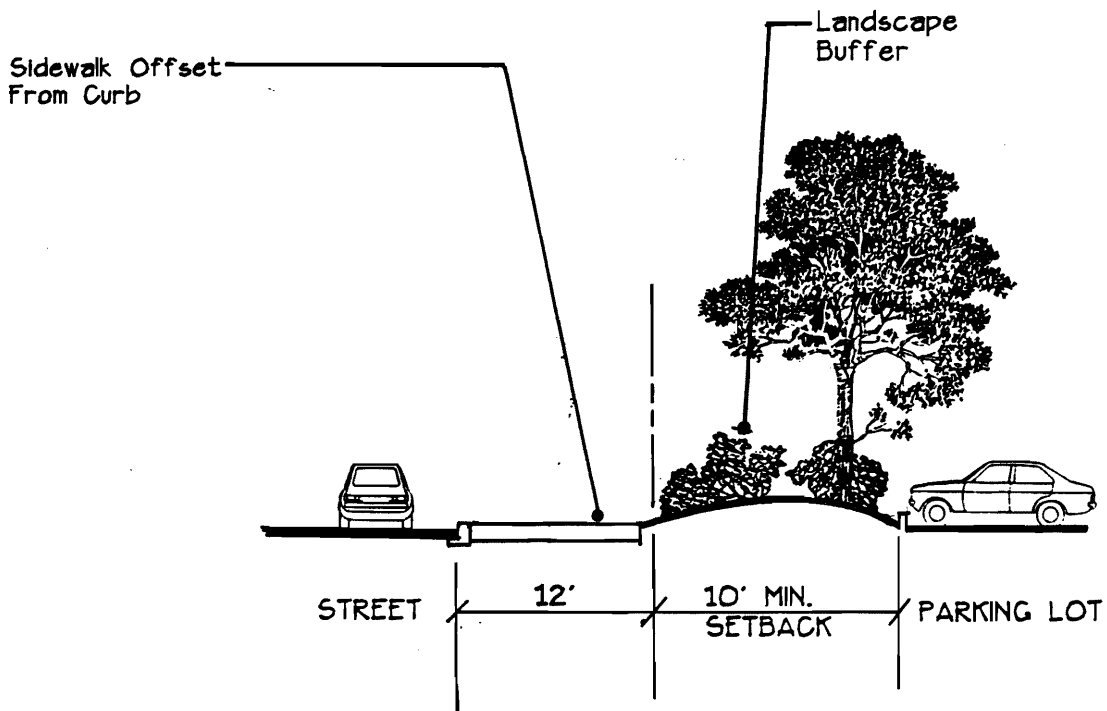
THE CROSSROADS IN WINCHESTER SPECIFIC PLAN

 **Lohr + Associates Inc**

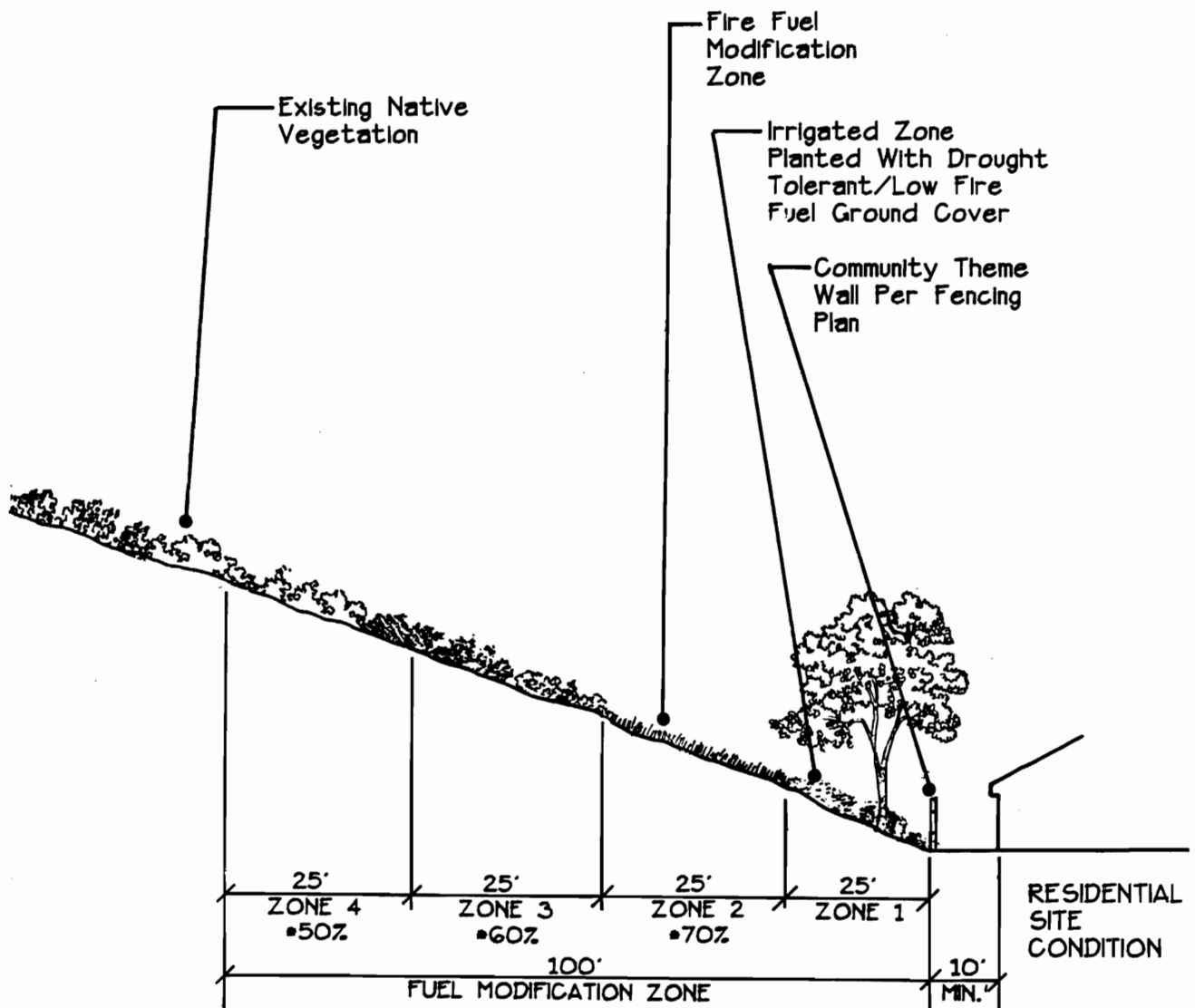
FIGURE

RESIDENTIAL TO
SALT CREEK
LAND USE EDGE

IV-42



THE CROSSROADS IN WINCHESTER SPECIFIC PLAN



Selectively Remove Highly
Flamable Plant Species
and Thin Out Large Dense
Groupings Per the Percentages
Listed for Each Zone

THE CROSSROADS IN WINCHESTER SPECIFIC PLAN

 Lohr + Associates Inc

FIRE HAZARD
SUPPRESSION PLAN

FIGURE

IV-44

occurring flora, at a minimum of one hundred feet (100') wide measured from the community property line to undisturbed open space land.

The fire fuel modification zone shall be composed of four landscape zones. Zone 1, closest to the homeowner property line, shall be planted with drought tolerant, low fire fuel-generating groundcover. In addition, Zone 1 will be irrigated with a permanent irrigation system providing 100 percent coverage. Zones 2, 3 and 4 will consist of the native vegetation which has been selectively removed and thinned. Zone 2 will have 70 percent, Zone 3 will have 60 percent, and Zone 4 will have 50 percent of the native plant material selectively removed per the following guidelines:

1. Selectively remove highly flammable plant species.
2. Selectively thin out large, dense groupings of plant materials.
3. Remove plant material in a manner that will promote a natural appearance to fuel modification areas.
4. Provide masonry wall or open tubular steel fence at residential property line adjacent to open space areas.
5. Maintain fuel modification area via homeowners' association or maintenance district

5. Landscaping Requirements

a. Description

The following provides a general outline of the guidelines to be used in creating a cohesive, complimentary landscape design. Topography, individual developer likes and dislikes, and market trends will define to a greater degree the specific applications of landscape design.

1. Landscaping should be designed to establish project identity and to accentuate common entrance areas. Landscaping and berms should be used to screen parking areas and non-residential storage areas.
2. Grouped masses of plant material should be designed to complement architectural elevations and rooflines through color, texture, density, and form, on both the vertical and horizontal planes.
3. The preservation of existing mature trees and their integration into introduced landscape should be undertaken whenever possible.
4. Wherever feasible, native and drought-tolerant plant material should be used and preserved.
5. Parking areas should incorporate both landscaping and screening to make them visually compatible with their surroundings.