
III. SPECIFIC PLAN GENERAL PROVISIONS

A. PROJECT-WIDE DEVELOPMENT PLANS AND STANDARDS

1. Comprehensive Land Use Plan

The Eastvale Specific Plan is a planned community encompassing 687.3 acres, primarily residential with supporting commercial and community uses. Gross residential density for the project is proposed to average 4.2 dwelling units per acre (du/ac) for single family detached residences (in areas designated as Medium Density) and 7.6 du/ac for single family residences in areas designated as Medium High Density.

The Specific Plan includes a total of 2,769 residential dwelling units on 625.5 acres of the project site. The plan provides 10.0 acres of commercial development in a center intended to service the community's neighborhood commercial needs. Also proposed are four parks, totaling 35.2 acres of developed park land; an 8.0-acre elementary school; and an 8.6-acre natural open space area. Other public and quasi-public uses, such as a fire station, are permitted throughout the specific plan.

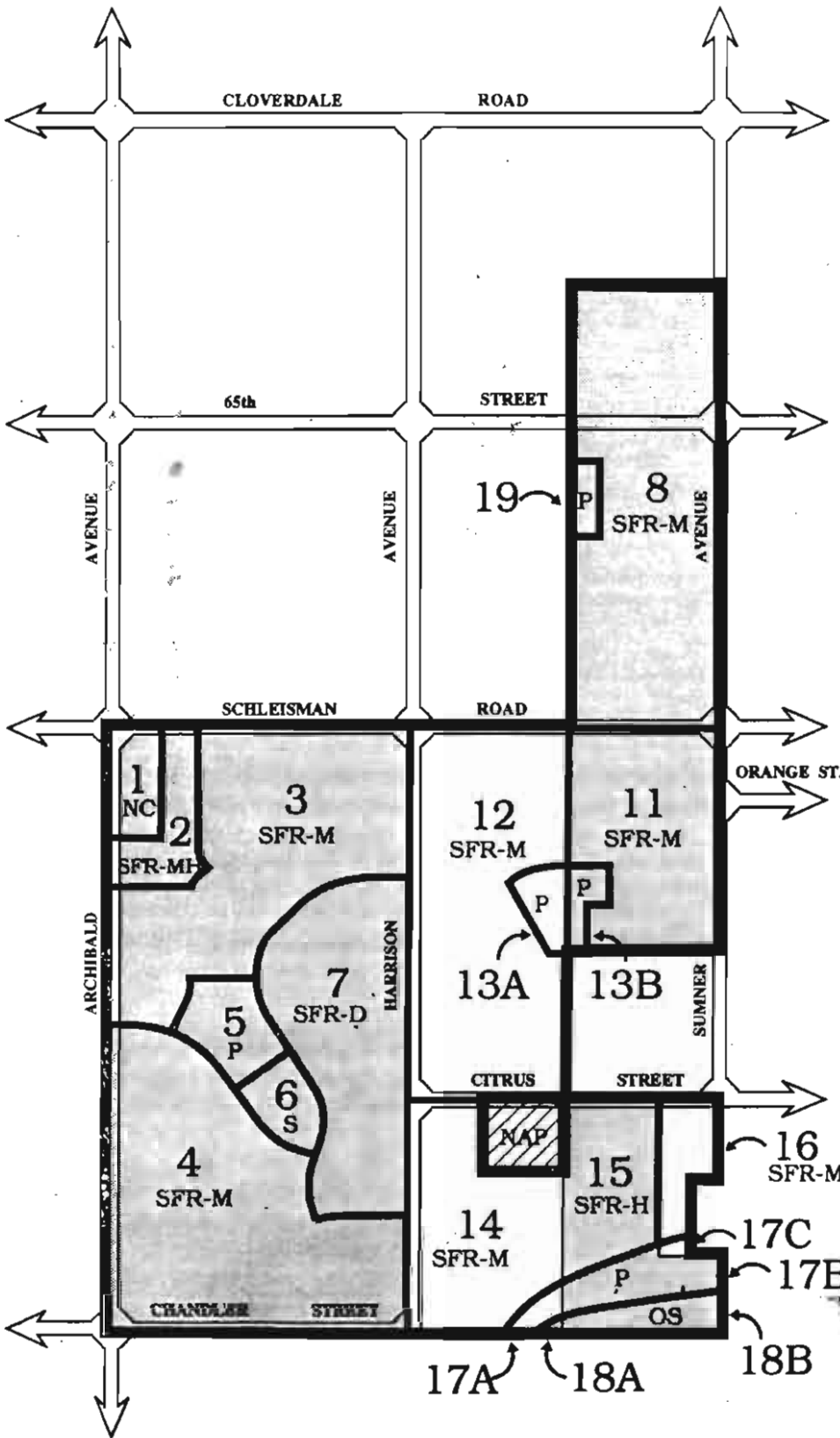
The area currently proposed for development comprises those properties represented by the project applicant, Unitex Management Corporation. These parcels collectively are identified on Exhibit III-1, Land Use Plan, as the applicant-controlled parcels, and make up 528.4 acres. An additional area of approximately 158.9 acres is not controlled by the specific plan sponsor, but has been included in the specific plan at the direction of the County Planning Department in order to provide for orderly planning. The owners of these properties have consented to inclusion in the specific plan. The specific plan provides policy guidance affecting this area and addresses interconnections between the planning areas.

Public and quasi-public facilities are permitted throughout the specific plan, at locations to be determined case by case. A fire station site is to be made available for purchase by the Riverside County Fire Department. The specific location of this and other public facilities will be determined by future zone change and subdivision submittals.

Table III-1, Land Use Distribution, shows the specific land use breakdown by planning area, acreage, and density, and reflects the land use configurations illustrated in Exhibit III-1, Land Use Plan. Table III-2, Land Use Summary, provides statistics for the specific plan as a whole.

The development standards in this and following sections have been developed for the Eastvale Specific Plan based on standard guidelines prepared by the County for the Jurupa Community Plan. The standards have been tailored to reflect sensitivity to the characteristics of the site and its surroundings.

The purpose of this and following sections is to establish the guidelines and standards which will be used in the development of the Eastvale Specific Plan. These guidelines and standards will insure that consistently high quality development occurs within the specific plan, thus protecting and enhancing the investment of all those uses located within the plan area. The specific plan provisions will also ensure compatibility with existing and planned



LEGEND

- SFR-M - Single Family Residential Medium Density
- SFR-MH - Single Family Residential Medium-High Density
- SFR-H - Single Family Residential High Density
- NC - Neighborhood Commercial
- P - Park
- S - School
- OS - Open Space
- 1 - Planning Area No.

- Overall Project Limits
- Applicant Controlled Parcels
- Not a Part

Note: Planning Areas 9 and 10 are deleted



TABLE III-1

**EASTVALE SPECIFIC PLAN
LAND USE DISTRIBUTION**

Planning Area	Land Use	Minimum Lot Size (sq. ft.)	Average Density (du/ac)	Total Acres	Dwelling Units
1	Commercial			10.0	
2	Single Family Residential - Medium High Density	6,000	6.8	13.0	88
3	Single Family Residential - Medium Density	6,000	3.8	92.8	357
4	Single Family Residential - Medium Density	5,500	4.6	109.7	503
5	Park ^a			12.0	
6	School ^b			8.0	
7	Single Family Residential - Medium Density	6,500	4.2	67.5	283
8	Single Family Residential - Medium Density	6,000	4.4	111.3	490
9	Not Used				
10	Not Used				
11	Single Family Residential - Medium Density	7,200	3.9	57.3	223
12	Single Family Residential - Medium Density	6,500	4.2	94.0	395
13A	Park ^a			5.0	
13B	Park ^a			3.0	
14	Single Family Residential - Medium Density	6,000	4.2	45.3	190
15	Single Family Residential - Medium High Density	3,500	8.0	25.0	200
16	Single Family Residential - Medium Density	6,000	4.2	9.6	40
17A	Park ^a			2.6	
17B	Park ^a			7.8	
17C	Park ^a			1.8	
18A	Open Space ^c			0.6	
18B	Open Space ^c			8.0	
19	Park			3.0	
TOTAL			4.0	687.3	2,769

^aPark areas in specific sites are subject to refinement based on future surveys, mapping and specific park design.

^bSchool site is subject to approval of Corona-Norco Unified School District. If not acquired for school use, this site will be developed in single family Medium Density residential use and dwelling units will be reallocated to this site from Planning Area 15. The school location may be changed per the district without requiring an amendment to the specific plan.

^cOpen space area boundaries will be refined based on future land surveys.

TABLE III-2

EASTVALE SPECIFIC PLAN
LAND USE SUMMARY

Planning Area	Single Family Residential		Park, School, Open Space				Com- mercial	Total
	Medium Density	Medium High	Park	School	Open Space	Sub- total		
Applicant Controlled Parcels (Planning Areas 1-7, 8-11, 13B, 15, 17B, 18B, 19):								
Acres	438.6	38.0	25.8	8.0	8.0	41.8	10.0	528.4
Dwelling Units	1,856	288						2,144
Avg. Densities	4.2	7.6						4.0
Balance of Specific Plan (Planning Areas 12, 13A, 14, 16, 17A, 17C, 18A):								
Acres	148.9		9.4		0.6	10.0		158.9
Dwelling Units	625							625
Avg. Densities	4.2							3.9
Specific Plan Total:								
Acres	587.5	38.0	35.2	8.0	8.6	51.8	10.0	687.3
Dwelling Units	2,481	288						2,769
Avg. Densities	4.2	7.6						4.0

land uses in the surrounding area. These guidelines and standards provide a documented basis for directing and evaluating the planning and design of improvements to each property within the plan, and provide guidelines upon which the County's development review process can be based.

Land Use Development Standards

a. Standard Provisions

In order to ensure the orderly and sensitive development of the land uses proposed for the Eastvale Specific Plan, special techniques or mitigations have been created for each planning area. These area-specific standards, discussed in detail in Section III.B, Planning Area Development Standards, will assist in accommodating the proposed development and provide adequate transitions to neighboring land uses.

In addition to these specific techniques, project-wide development standards have also been prepared to complement those applicable to each individual planning area. These general standards are:

- 1) The total specific plan shall be developed with a maximum of 2,769 dwelling units on 687.3 acres, as illustrated on the Land Use Plan (Exhibit III-1). General permitted uses will include residential, commercial, school, recreation, open space, and circulation as delineated on the Land Use Plan and in the individual planning areas (Exhibits III-18 to III-26).
- 2) Uses and development standards will be in accordance with Riverside County Ordinance No. 348 and will be defined by specific plan objectives, Specific Plan zoning (to be adopted prior to development), future detailed plot plans and potential conditional use permits and public use permits as appropriate.
- 3) Standards relating to signs, landscaping, parking and other related design elements will conform to County of Riverside Ordinance No. 348. When appropriate and necessary to meet the goals of this specific plan, the standards will exceed the zoning code requirements.
- 4) All project lighting shall be in conformance with applicable Riverside County standards. The project lies outside the area affected by Ordinance No. 655.
- 5) The development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinance Nos. 348 and 460 and state laws; and shall conform substantially with adopted Specific Plan No. 300 as filed in the office of the Riverside County Planning Department, unless otherwise amended.
- 6) No portion of the specific plan which purports or proposes to change, waive or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted specific plan.
- 7) Prior to issuance of a building permit for construction of any use contemplated by this approval, the applicant shall first obtain clearance from the Riverside County Planning Department that all pertinent conditions of approval have been satisfied with the specific plan for the phase of development in question.
- 8) An environmental assessment shall be conducted to determine potential environmental impacts resulting from each tract, change of zone, plot plan, specific plan amendment, or any other discretionary permit required to

implement the specific plan. The environmental assessments shall be prepared as part of the review process for these implementing projects. At a minimum, the environmental assessment shall utilize the evaluation of impacts addressed in Environmental Impact Report No. 392 prepared for Specific Plan No. 300.

- 9) Lots created by land divisions within Specific Plan No. 300 shall be in conformance with the development standards of the zone ultimately applied to the property, and all other applicable County standards.
- 10) Flag lots shall not be permitted.
- 11) Design plans for the common areas specifying location and extent of landscaping and irrigation systems as specified in Riverside County Ordinance No. 348, Section 18.12, and Sections 19.300 through 19.304, and circulation (vehicular, pedestrian, equestrian and/or bicycle), shall be submitted during the review process for development applications which incorporate common areas. Additionally, all proposed structures shall be shown on said plans.
- 12) Common areas identified in the specific plan shall be owned and maintained as follows:
 - a) A permanent master maintenance organization shall be established for the specific plan area, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas. The organization may be public or private. Merger with an area-wide or regional organization may satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association then neighborhood associations shall be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
 - b) Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
 - c) The maintenance organization shall be established prior to or concurrent with recordation of the first land division, or issuance of any building permits for any approved development permit (use permit, plot plan, etc.).
- 13) If the permanent master maintenance organization referenced in Condition of Approval No. 3.12 is a public organization, the developer shall comply with the following condition:
 - a) Prior to the recordation of any final subdivision map, or issuance of building permits in the case of use permits and plot plans, the applicant shall convey to the County fee simple title, to all common or common open space areas, free and clear of all liens, taxes, assessments, leases (recorded and unrecorded) and easement, except

those easements which in the sole discretion of the County are acceptable. As a condition precedent to the County accepting title to such areas, the subdivider shall submit the following documents to the Planning Department and the office of the County Counsel:

1. A declaration of covenants, conditions and restrictions; and
 2. A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference.
- b) The declaration of covenants, conditions and restrictions submitted for review shall (a) provide for a term of 60 years, (b) provide for the establishment of a property owners' association comprised of the owners of each individual lot or unit and (c) contain the following provisions verbatim:

"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:

- "1. The property owners' association established herein shall, if dormant, be activated, by incorporation or otherwise, at the request of the County of Riverside, and the property owner's association shall unconditionally accept from the County of Riverside, upon the County's demand, title to all or any part of the 'common area', more particularly described on Exhibit '___' attached hereto. The decision to require activation of the property owners' association and the decision to require that the association unconditionally accept title to the 'common area' shall be at the sole discretion of the County of Riverside.
- "2. In the event that the common area, or any part thereof, is conveyed to the property owners' association, the association, thereafter shall own such 'common area', shall manage and continuously maintain such 'common area' and shall not sell or transfer such 'common area', or any part thereof, absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in-interest. The property owners' association shall have the right to assess the owners who defaults in the payment of a maintenance assessment. An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of assessment or other document creating the assessment lien.
- "3. This Declaration shall not be terminated, 'substantially' amended or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage or maintenance of the 'common area'.

"4. In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."

c) Once approved, the declaration of covenants, conditions and restrictions shall be recorded at the same time that the final map is recorded.

14) If the permanent master maintenance organization referenced in Condition of Approval No. 3.12 is a private organization, the developer shall comply with the following condition:

a) Prior to recordation of any final subdivision map or issuance of building permits in the case of use permits and plot plans, the subdivider shall submit the following documents to Planning Department for review, which documents shall be subject to the approval of that department and the Office of the County Counsel:

a. A declaration of covenants, conditions and restrictions; and,

b. A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference.

b) The declaration of covenants, conditions and restrictions submitted for review shall (a) provide for a term of 60 years, (b) provide for the establishment of a property owners' association comprised of the owners of each individual lot or unit and (c) provide for ownership of the common area by either the property owners' association of the owners of each individual lot or unit as tenants in common and (d) contain the following provisions verbatim:

"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:

"1. The property owners' association established herein shall, manage and continuously maintain the 'common area', more particularly described on Exhibit '___' attached hereto, and shall not sell or transfer the 'common area' or any part thereof, absent the prior written consent of the Planning Director of the County of Riverside or the County successor-in-interest.

"2. The property owners' association shall have the right to assess the owners of each individual lot or unit for the reasonable cost of maintaining such 'common area', and shall have the right to lien the property of any such owner who defaults in the payment of a maintenance assessment. An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of assessment or other document creating the assessment lien.

- "3. This Declaration shall not be terminated, 'substantially' amended or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage or maintenance of the 'common area'.
- "4. In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."
- c) Once approved, the declaration of covenants, conditions and restrictions shall be recorded at the same time the final map is recorded.
- 15) Areas designated as open space that will be conveyed within parcel boundaries to individual property purchasers shall be deed restricted so as to create open space easements and prohibit grading, construction, or other development activity in such open space.
- 16) Passive solar heating techniques will be employed whenever possible within the project. Passive solar systems do not utilize sophisticated hardware. Passive systems involve orienting buildings properly, planting trees to take advantage of the sun, seeing that roof overhangs are adequate, making sure that walls are properly insulated and installing simple heat storage systems.
- 17) Where determined by the County to be necessary, roadways, infrastructure and common open space areas may be coordinated by and paid for through an assessment or community facilities district or area to facilitate construction, maintenance and management.
- 18) Final development densities for each planning area shall be determined through the appropriate development application up to the maximum density identified by the specific plan, based upon, but not limited to, the following:
- a) Adequate availability of services.
 - b) Adequate access and circulation.
 - c) Sensitivity to landform.
 - d) Innovation in housing types and design.
 - e) Sensitivity to neighborhood design through appropriate lot and street layouts.
 - f) Lot product sizes as proposed in this specific plan.
- 19) Prior to the issuance of building permits, improvement plans for developed common open space areas, including irrigation plans, shall be submitted for Planning Department approval for the stage of development in question. Landscaping and irrigation plans shall be certified by a landscape architect.
- 20) For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract:
- a) Circulation for pedestrians, vehicles, and police patrols.

- b) Lighting of streets, walkways, and bikeways.
 - c) Visibility of doors and windows from the street and between buildings, where practical.
 - d) Fencing heights and materials.
- 21) Prior to the issuance of grading permits for individual planning areas, a detailed noise analysis shall be prepared to determine the height and location of noise barriers needed to achieve acceptable noise levels. This condition shall apply to all planning areas designated for residential use. The specific plan noise analysis may be used to satisfy this condition to the extent applicable.
 - 22) A land division filed for the purposes of phasing or financing shall not be considered an implementing development application.
 - 23) Each planning area shall comply with the Riverside County recycling program upon the recycling plan's adoption.
 - 24) Prior to the recordation of any final map or issuance of any building permit within Specific Plan No. 300, the first applicant or their successor-in-interest for a subdivision or building permit within a planning area shall submit to the Planning Department, correct legal descriptions for the planning area(s) within which the proposed project is located.
 - 25) Proposed onsite commercial areas shall contain enclosures for collection of recyclable materials. These commercial areas are appropriate areas for such facilities due to their central location and anticipated high use by project residents.
 - 26) The County may initiate an amendment or revocation proceeding on all or any portion of this specific plan if a development proposal has not been approved within five (5) years of the Board of Supervisors' approval of the specific plan.
 - 27) Since this project will disturb five or more acres it will require a National Pollutant Discharge Elimination System (NPDES) Construction General Permit from the State Water Resources Control Board. Clearance for grading shall not be given until either the district or the Department of Building and Safety has determined that the project has complied with the current County requirements for the regarding the NPDES Construction General Permit.

b. Other Provisions

- 1) Prior to or concurrent with the submittal of any subdivision map, or other development proposal for property within Planning Area(s) 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13A, 13B, and 19 in Specific Plan No. 300, the applicant shall submit, to the Planning Department, an application for the diminishment or disestablishment of the agricultural preserve affecting the planning area(s) within which the proposed project is located, and where needed shall also submit a petition for the cancellation of the applicable land conservation contracts.

- 2) Prior to or concurrent with the submittal of an application for the diminishment or disestablishment of the agricultural preserve for a planning area within Specific Plan No. 300, a change of zone application, proposing zoning necessary to implement the land uses set forth in the specific plan as an alternative to agricultural use of the planning area, shall be filed with the Planning Department. The change of zone must be approved by the Board of Supervisors and be effective prior to the recordation of any final map or issuance of any building permit within the affected planning area.
- 3) Concurrent with the submittal of any subdivision map, or other residential development proposal for property within Specific Plan No. 300, the applicant shall submit a detailed proposal for the notification of all initial and future purchasers of dwelling units within the subject subdivision, or other residential development proposal, of the existence of dairies and other agricultural uses within the vicinity of the property and potential impacts resulting from those uses. Said notification shall be made a condition of approval of the subdivision map, or other residential development proposal, and shall be in addition to any notice required by Ordinance No. 625 (Riverside County Right-to-Farm Ordinance).
- 4) A fire station site of 1.25 acres in size shall be made available for purchase by the Riverside County Fire Department. The developer shall consult with the Fire Department regarding site location and approval.
- 5) The surfaces of walls, fences, commercial buildings, monument signs, etc., shall be designed to be graffiti-resistant through selection of surface materials or paint types or by means of plantings.
- 6) Walkways, bikeways and parking areas shall be generally visible to passing traffic and not hidden by structures or tall plantings.
- 7) Parks, parking areas and commercial areas shall be accessible to emergency vehicles at all times, with paved pathways of sufficient width to accommodate such vehicles.
- 8) Parks should be placed so that they are faced by residences or businesses to provide continuing visibility of the activities taking place. Parks, setbacks, green areas and other recreational areas should not have isolated areas attractive to those desiring to be out of public view. Any park, setback, green area or recreational area that is not faced by residential or business structures shall be fenced with view-through type fencing such as wrought iron.
- 9) Play areas for young children shall be fenced separately from the remainder of the park or surrounding area. Such fencing shall be of view-through materials such as wrought iron or chain link.
- 10) Lighting for parks, commercial areas and parking areas shall be sufficient to discourage illicit activities. All lighting fixtures shall be vandalism-resistant. Any restroom facility installed in a park shall contain vandalism-resistant fixtures.
- 11) To the extent allowed by design constraints and design variations, residences shall have a view of the street from commonly used family areas

to allow for visual monitoring of activities in the neighborhood by the residents. Plantings and design features installed by the developer shall not hide front doors or ground floor windows from the street or allow hidden scaling of fences.

- 12) A six-foot chain link fence shall be erected around construction areas to minimize theft of building materials and equipment. Current emergency contact information for the construction project shall be kept on file with the Sheriff's Department, Riverside Station Community Resources Unit. The developer's name, address and phone number, and the address of the construction site, shall be conspicuously posted at the construction site.
- 13) Visibility into construction sites shall not be intentionally hampered. Areas of vulnerability shall be lit during hours of darkness if feasible. The construction site shall have clearly marked entrances and exits.
- 14) Each construction site shall have a clearly designated point of contact such as a construction trailer. Emergency numbers and the non-emergency numbers for sheriff, fire and ambulance dispatch and the construction site address shall be clearly posted at any phone locations on the construction site. Any phones on the construction site that are blocked for outgoing calls shall not be blocked from dialing 911.
- 15) Parks shall be designed and developed in accordance with the requirements of the County and the Jurupa Community Services District.
- 16) Prior to development of Planning Area 12, the developer shall comply with the Construction Project Site Review and Well Abandonment Procedure of the Division of Oil, Gas, and Geothermal Resources, California Department of Conservation, and shall provide the Planning Department clearance from that agency that said procedures have been completed.
- 17) Within Planning Area 15, a minimum of twenty-five percent (25%) of the dwelling units shall be single-story dwelling units.
- 18) The following special studies/reports shall accompany implementing development applications in the planning areas listed below:

Study/Report	Planning Area
a. Comprehensive Geotechnical Report	All Planning Areas
b. Preliminary Site Assessment for Hazardous Materials	12, 13A, 14, 16, 17A, 17C, 18A
c. Acoustical Study	1, 2, 3, 4, 7, 8, 9, 10, 11, 12, 14, 15, 16
d. Other (as determined by subsequent environmental assessments)	All Planning Areas

Residential Component

The residential component of the Eastvale Specific Plan will provide single family residences to help meet the area's current and future housing needs. The plan has taken the physical characteristics of the site into consideration. Anticipated housing demand in the area is for homes in a single family detached configuration, as well as ownership in a single family attached setting. Close proximity to shopping, schools and recreation areas is a valued neighborhood amenity which has been incorporated into the project's design.

Controls on residential development levels for the Eastvale Specific Plan are as follows:

- a. The maximum number of dwelling units for the Eastvale Specific Plan as indicated in Tables III-1 and III-2 may not be exceeded.
- b. The maximum number of dwelling units allocated to each planning area may not be exceeded.
- c. Project densities may not exceed the density ranges for planning areas specified in Section III.B, Planning Area Development Standards.
- d. Second dwelling unit permits may be allowed within the specific plan's residential areas in accordance with the provisions of Ordinance No. 348, but only to the extent that the maximum number of dwelling units permitted within each planning area is not exceeded.

The phasing plan for residential development in the Eastvale Specific Plan is illustrated in Exhibit III-16 and detailed in Table III-6 (see Section III.A.6, Public Facilities and Phasing Plan). Each phase of development will include all infrastructure improvements necessary to serve that phase of development along with provisions for public services.

Commercial Component

A commercial component has been included in the Eastvale Specific Plan in response to neighborhood commercial needs. The proposed 10.0-acre commercial area is intended to provide low-intensity neighborhood commercial uses for the immediate community to eliminate the need for longer vehicle trips to outlying commercial centers.

The following controls apply to commercial development within the Eastvale Specific Plan:

- a. Commercial uses shall be developed so as to be consistent with the specific plan requirements and standards.
- b. The following general standards shall apply to commercial development:
 - 1) Parking shall be provided as required by Section 18.12 of Ordinance No. 348.
 - 2) Building elevations shall include full roof treatments and all mechanical roof-mounted equipment shall be screened from view from public highways.
 - 3) Wherever commercial development abuts residential development, either at the property line or across a street or road, the commercial development

shall be designed to, and shall incorporate design features which, reasonably minimize negative impacts such as glare, light, odors and noise.

- 4) Storage areas, loading areas and trash receptacles shall be located and screened so as not to impose adverse health and noise impacts upon adjoining areas.
- 5) Signs will be consistent with standards set forth by County Ordinance and the specific plan design guidelines.
- 6) All commercial areas shall be maintained by the property owner or merchants association, as appropriate.

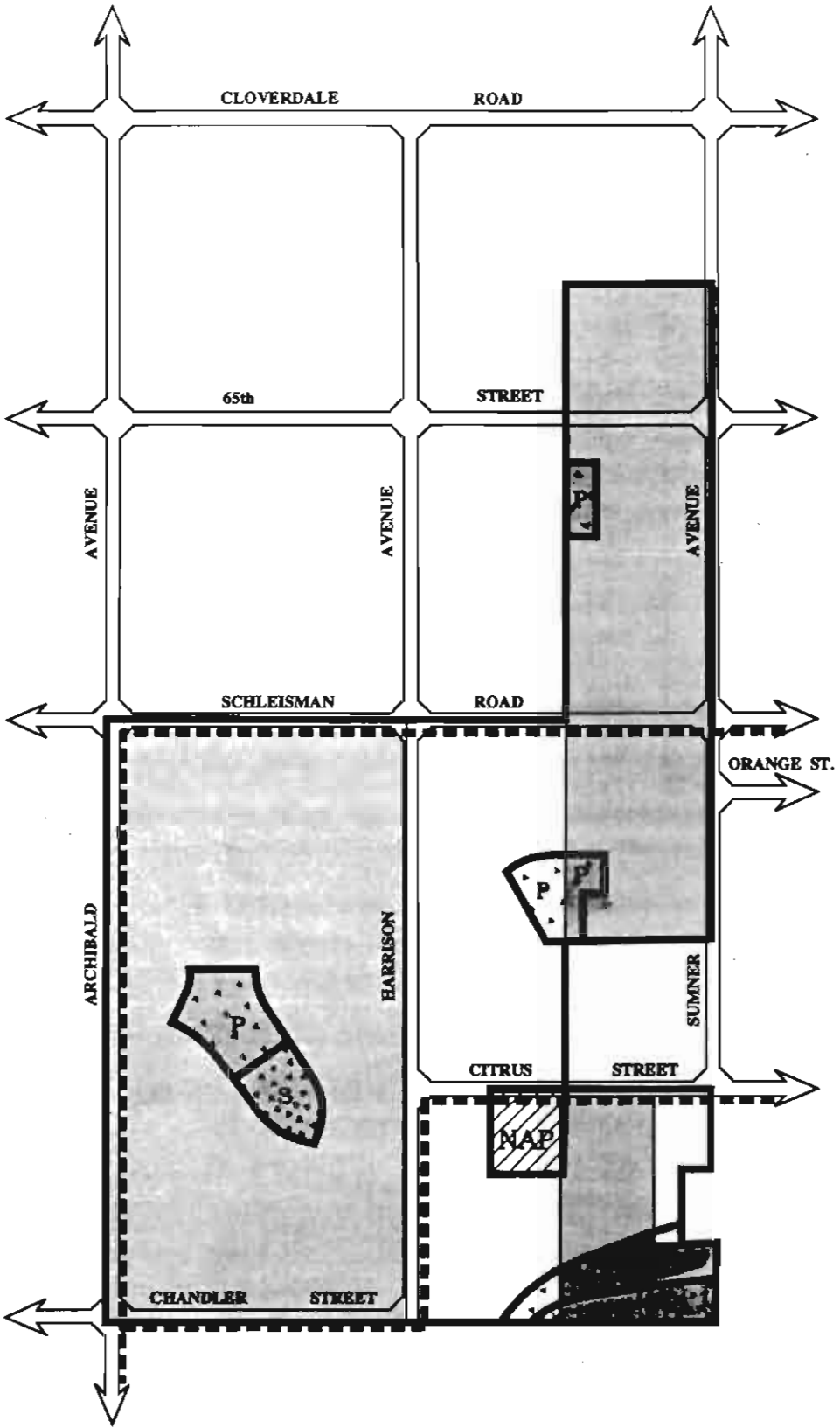
Recreation and Open Space Component

The Recreation/Open Space Plan, shown in Exhibit III-2, illustrates the recreational components of the Eastvale Specific Plan. The plan provides for a 12.0-acre neighborhood/community park (Planning Area 5), an 8.0-acre neighborhood park (Planning Area 13), a 12.2-acre park adjoining an 8.6-acre open space site (Planning Areas 17 and 18), and a 3.0-acre minipark (Planning Area 19). The neighborhood park in Planning Area 5 will be situated so as to augment school play facilities. Eastvale's parks will be accessible to both current and future area residents.

The park standard applicable to the project calls for three acres of local park land for every 1,000 residents. The estimated population has been computed under the Quimby Act provisions of the County subdivision ordinance (County Ordinance No. 460). Under the ordinance, the number of persons per household varies depending upon how many dwelling units are attached in a structure. Single family attached dwellings will thus have differing park requirements depending upon how they are arranged on each building site. Table III-3, Estimated Park Requirements, calculates a range of estimated park requirements depending upon development options. The 2,769 dwelling units in the specific plan would be required to provide approximately 21.3 to 21.6 acres of park land. The Specific Plan provides for a total of 35.2 acres of park land. Park and open space acreages may be adjusted slightly as site-specific mapping and design occur.

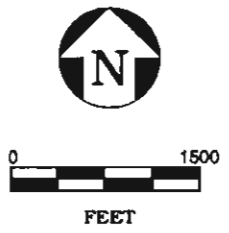
In addition to proposed onsite park areas, major regional park facilities including Prado Regional Park, Prado Basin County Park, Santa Ana River Regional Park and Rivertrails Park are located within a three mile radius of the site. Exhibit III-3, Regional Parks, Regional Trails and Bicycle Routes, shows nearby regional park facilities. The County standard for regional park and recreation facilities is one acre of improved park and 25 acres of natural open space for each 1,000 population. Projects within the Eastvale Specific Plan will contribute to the regional park system through payment of fees pursuant to Ordinance No. 659.

A regional trail route has been adopted for the Santa Ana River Trail along the south side of the Santa Ana River, as shown in the Jurupa Community Plan Public Facilities map and the Riverside County Regional Park and Open-Space District regional trail map. A Class II bicycle route passing near the Eastvale Specific Plan area is designated in the Plan of Bicycle Routes in the General Plan. Transportation Department staff advises that it is department policy to require all bicycle routes to be Class I facilities. Accordingly, the segments of bicycle routes within the specific plan have been shown as Class I facilities. The bicycle route as identified by the Transportation Department approaches the project site on Schleisman Avenue and connects to Archibald Avenue via Cleveland Avenue, Citrus Street, Harrison Street, and Chandler Street. From Chandler at Archibald, the bicycle route



LEGEND

- Park
- School
- Open Space
- Bike Trail
- Overall Project Limits
- Applicant Controlled Parcels
- Not a Part



<p>EASTVALE SPECIFIC PLAN</p>	<p>Exhibit III-2</p> <h2>Recreation/ Open Space Plan</h2>	<p>UNITEX MANAGEMENT CORPORATION</p> <p>ALBERTA A. WEBB ASSOCIATES ENGINEERING CONSULTANTS</p>
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**TABLE III-3
ESTIMATED PARK REQUIREMENTS**

Plg. Area	Potential Residential Development Types^a	DU^b	PPH^c	Population^d	Park Acres Required^e
3, 4, 7, 8, 11	Detached, 1 du/structure	1,856	2.59	4,807	14.42
2, 15	Attached, 5+ du/structure	288	2.34	674	2.02
	Attached, 3-4 du/structure	288	2.48	714	2.14
	Attached, 2 du/structure	288	2.64	760	2.28
	Detached, 1 du/structure	288	2.59	746	2.24
	Range for Areas 2 and 15:	288		674-760	2.02-2.28
	Subtotal for applicant-controlled parcels:	2,144		5,481-5,567	16.44-16.70
12, 14, 16	Detached, 1 du/structure	625	2.59	1,619	4.86
	Subtotal for balance of Specific Plan:	625	2.59	1,619	4.86
	Total for Specific Plan:	2,769		7,100-7,186	21.30-21.56

^aPermitted uses as defined in Section II. The categories of development types are taken from Section 10.35 of Riverside County Ordinance No. 460. A variety of building configurations are permitted in Planning Areas 2 and 15.

^bTotal dwelling units permitted by planning areas, as given in Table III-1, Land Use Distribution.

^cPersons per household by type of dwelling, as specified in Section 10.35 of Riverside County Ordinance No. 460.

^dPopulation estimated by multiplying number of dwelling units by persons per household factor.

^ePark acreage required to provide three acres of park area per 1,000 persons. Column may not add to totals due to rounding.

continues southward on Archibald Avenue, eventually connecting with the Santa Ana River trail system. The recently amended Jurupa Community Plan Public Facilities Map reflects this bike route as well as bike routes in Archibald Avenue and Schleisman Road adjacent to the specific plan site. Regional trails and bicycle routes are shown on Exhibit III-3.

Public park areas within the Eastvale Specific Plan will be provided through land dedication, payment of fees, or both, pursuant to Section 10.35 of County Ordinance No. 460. Park and trail areas will be dedicated to an appropriate entity for ongoing management and maintenance. The park adjoining the elementary school site may be wholly or partially maintained by the Corona-Norco Unified School District pursuant to a joint use school/park arrangement. Maintenance arrangements are discussed below in Section III.A.8, Comprehensive Maintenance Plan.

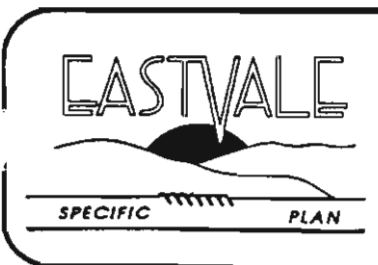
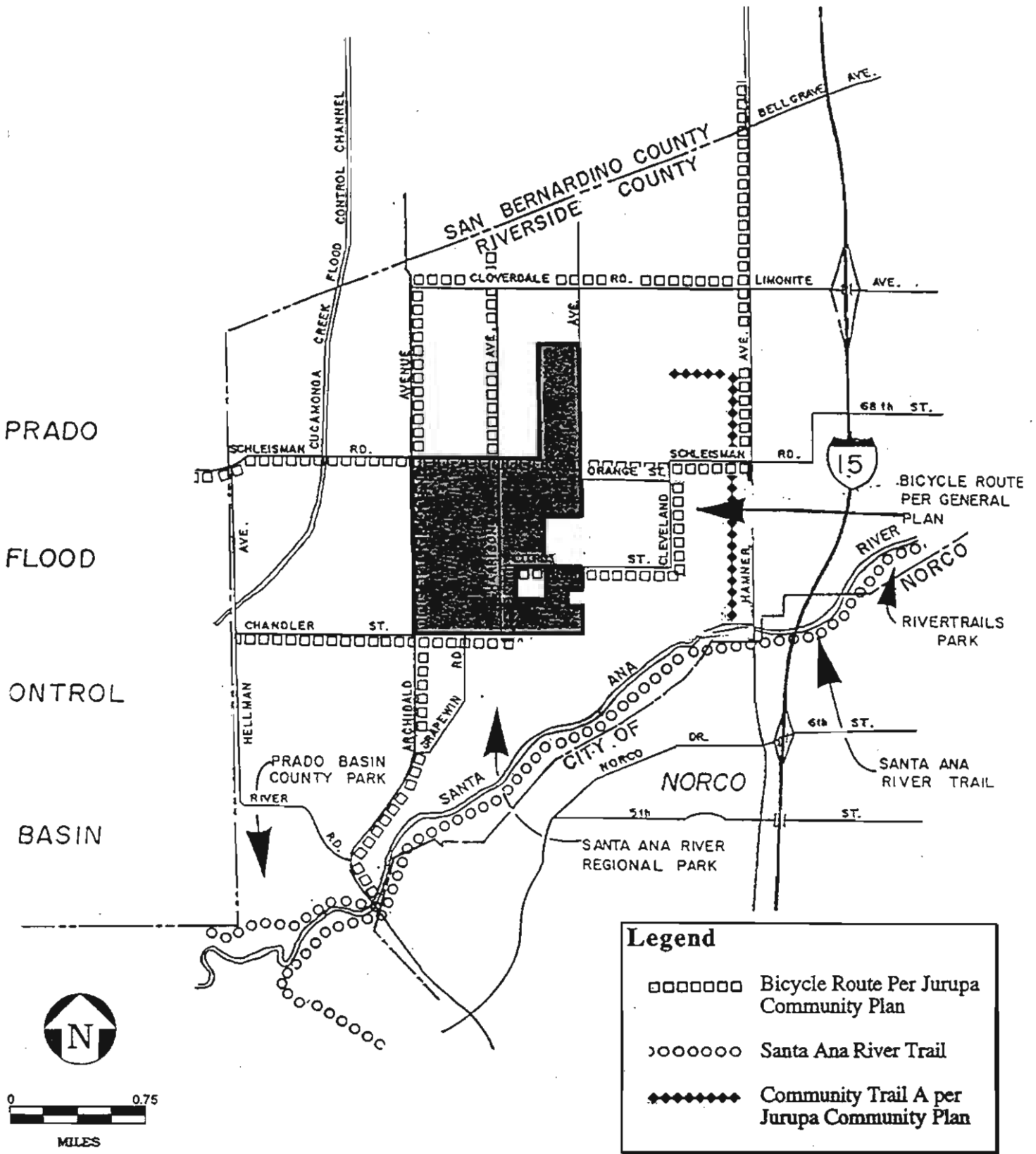


Exhibit III-3

Regional Parks, Regional Trails and Bicycle Routes

