

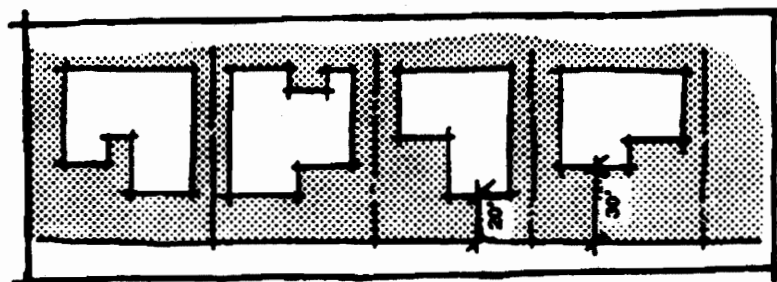
### 3. Site Development Guidelines

#### a. Site Planning

The intent of site planning is to integrate buildings and site improvements into a unified setting with minimal impact of the development on adjacent land uses. Site planning concentrates on the proper placement of buildings, roads and services.

The goal of residential site planning is to create a neighborhood fabric that offers a unique, safe and visually appealing environment to those in and around the development. The site plan should:

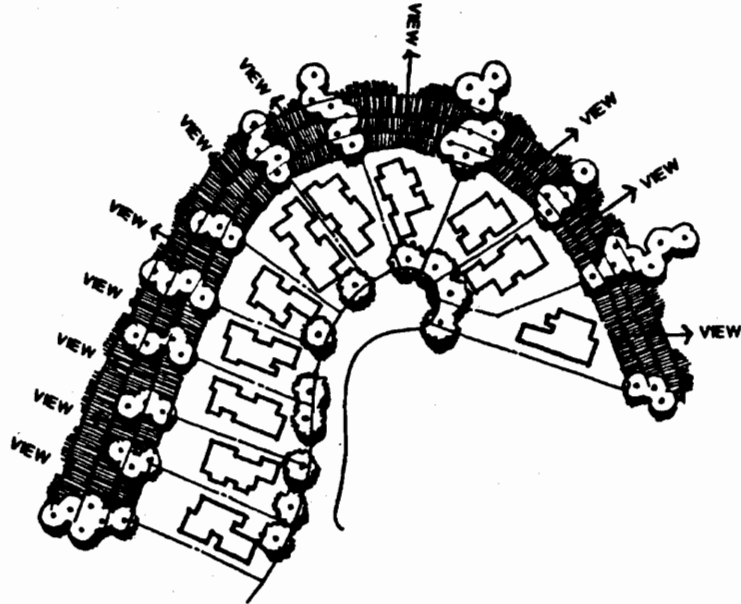
- Effectively accommodate the residential unit types proposed.
- Maximize unit exposure to parks, greenbelts and other amenities.
- Use of geometric "grid" layouts should be allowed.
- Cul-de-sac and curvilinear street layouts should be encouraged.
- Employ the latest techniques of energy-efficient/cost-effective subdivision design.
- Accommodate street drainage or underground drainage in accordance with generally accepted principals.
- Subdivision layouts should discourage through traffic while still permitting adequate emergency vehicle access.
- Variations of the building footprint with cut-outs and pop-outs can assure variety in a plan. Further variety and interest can be developed with plans by varying setback dimensions and positions of buildings.



Varying Setback Dimensions

1) Single Family Detached Residential Site Planning

- To the extent possible, units should have views from the rear of the units toward special features, including golf course and water features. Views should be enhanced with landscaping which does not block the view of adjacent lots.



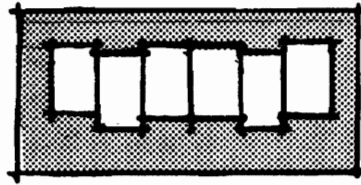
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Views from Residential Units

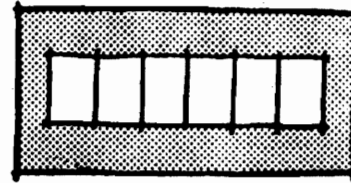
- Single family detached residential uses shall be buffered from existing adjacent land uses, and high traffic arterials. Landscape design should be used to provide privacy between units.
- A variety of building pad configurations can create further interest.
- Provide for variety along the streetscape.
- Orient views of the units towards special features, distant mountains, or common area open space. Views should be enhanced with tree plantings framing the desired view, but shall not block the view of adjacent lots.

2) Multi-Family Residential Site Planning

- Multi-family housing facades shall be detailed to give a varied quality to the building exterior rather than one long, continuous building. Attached buildings shall not be more than six dwelling units per floor.



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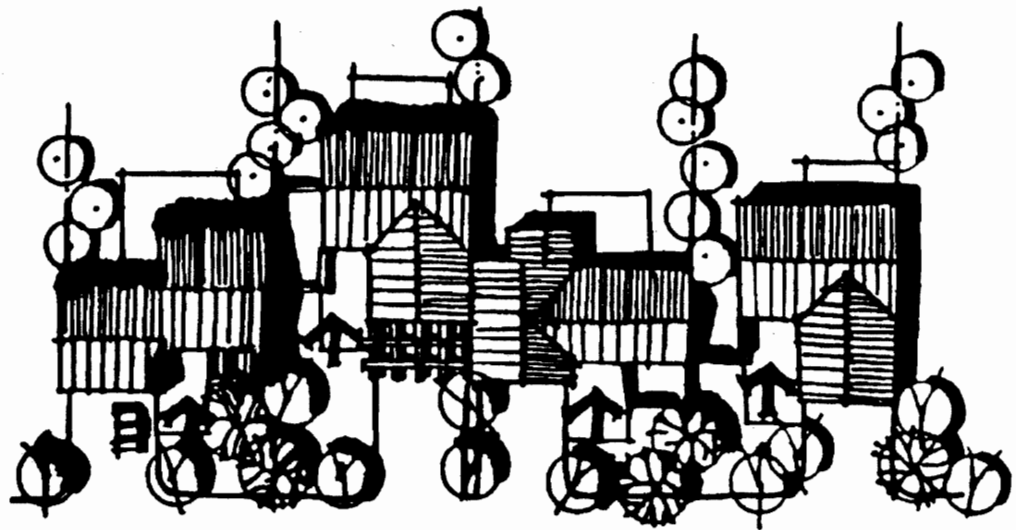
Multi-Family Housing Facades

- In higher density areas, where lot sizes permit, individual units shall be oriented in a variety of ways to avoid the monotony of garage door corridors.



Multi-Family Residential

- Maximization of open space is an important element within a higher density project. Curving the streets and orienting road axis to open areas and views can attain the feeling of open space. Open parking areas can be treated as landscaped plazas and courts.
- In multi-family and attached housing, it is important to provide each unit with its own entry and identity. This can be accomplished by offsetting and staggering each separate unit and by combining one and two-story building forms to separate massing. This also will provide variety to the streetscape.



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Streetscape Variety

### 3) Non-Residential Site Planning

Non-residential areas will serve the project site as well as the regional community. Businesses which locate here will rely on a high degree of visibility.



#### Air Park/Mixed Use

##### a) *Strong Linkages*

- Links within commercial developments shall be reinforced by building and landscape elements. In the case of landscape elements, these links may be made with both hardscape (such as paving), or softscape.
- Although the area is to be auto-oriented with regard to attracting those shoppers from the local community, the site planning shall emphasize pedestrian, and bicycle links to minimize auto trips from within the Kohl Ranch. Interaction of residential, park and commercial areas is encouraged.

- In some instances objectionable elements may require visual screens and sound barriers. Otherwise, these treatments should be minimized and used only when necessary.



Avenue 66 Commercial

*b) Orientation of Structures*

- Buildings shall be arranged so that most store fronts are oriented toward and visible from the street and parking areas. The shape and configuration of the buildings will be determined by the site constraints. On corners or at major developments, satellite buildings shall be located closer to the street or at the corner, while the bulk of the building is placed far enough back from the street to allow circulation across the front of the parcels.
- Developments that are inward facing and that preclude through access are not encouraged, except when major attractions are destinations.

- Courtyards and outdoor seating areas are encouraged, and other ancillary structures, service areas, and trash enclosures shall be planned as part of the project, and placed or screened in a position of low prominence.
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Town Center Commercial

- Landscaping shall be used to break up otherwise uninterrupted building mass, frame views, and connect with development on adjacent pads.
  - Building placement along a street should be varied to avoid creating a harsh, monotonous blockface or streetscape. Buildings should be sited so their entrances are generally oriented toward the street and parking areas.
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Office

4) Climatic Conditions

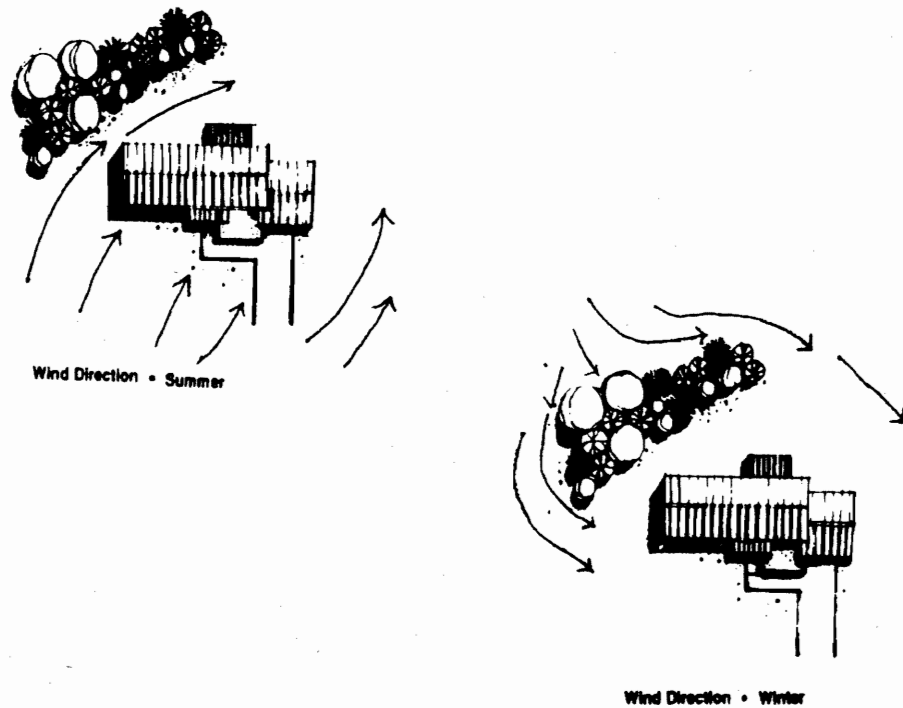
The effects of seasonal wind on development at the Kohl Ranch will, in some instances, be extensive. Wind may be intercepted, diverted or lessened. The following are suggested techniques of wind management:

a) *Shelter Belts on a Community Scale*

Shelter belts may be used in parallel rows to produce shelter on the leeward side. Belts with pinched profiles are less efficient in halting winds than belts with vertical edges.

b) *Wind Breaks for Residential Use*

Wind breaks placed on residential property can route winter wind around the home and allow cooling breezes during the summer to penetrate the rear yard.



Wind Breaks

c) *Solid Barriers*

Fences and walls are effective for protection but are very hard edges and should be limited in use. Barriers penetrated by the wind create more effective and wider wind shadows.

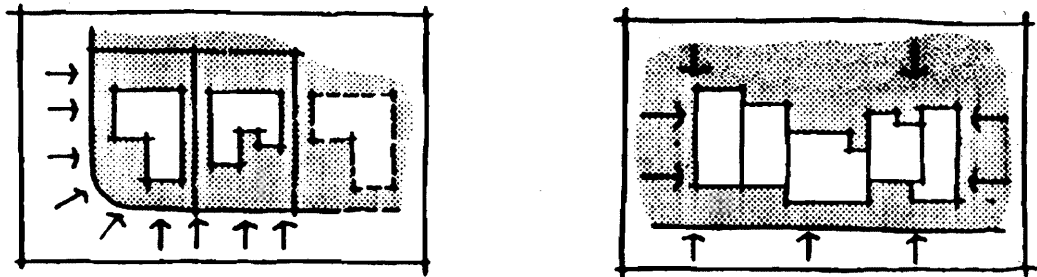
b. **Architectural Guidelines**

The architectural guidelines for the Kohl Ranch are intended to produce a feeling of authenticity without creating rigid, over-specific product/style requirements which often lead to architectural blandness and homogeneity. Rather, the Kohl Ranch should encourage a program of innovative design that reflects the historical desert landscape. The development programs should apply the guidelines in either literal or abstract forms.

These architectural guidelines are intended to establish design standards and form an encyclopedia of alternative design concepts.

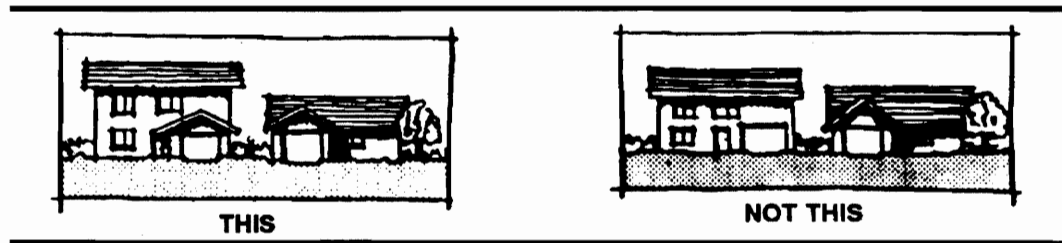
1) Elevation Concepts

- These guidelines are primarily concerned with the physical appearance of the community environment as perceived by residents and visitors. Therefore, it is the intent of these guidelines to apply to the portion of a building that is visible to the public.
- Primary elevations are the surfaces of a building structure or yard that can be seen from public view (either vehicular or pedestrian). In a single-family project it usually means the front and/or exterior side yard views. In multi-family projects it may be all four elevations of a structure.



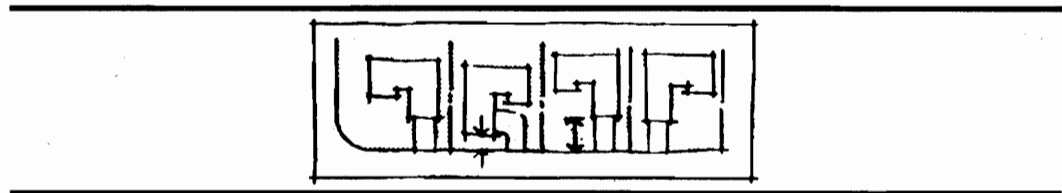
Primary Elevations

- Each building shall relate in terms of bulk and mass but should not be identical. A two-story building is more harmonious to a neighboring one-story building if it contains a one-story element.



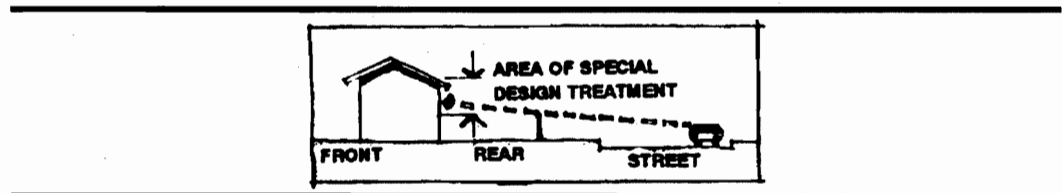
Harmony of Elevations

- Avoid stereotyped units which will produce monotonous elevations and street scene.
- A variety of elevations utilizing differing setbacks such as swing-in garages and reverse plans will ensure a varied street scene.



Variety of Elevations

- Where applicable, the rear side of the building located adjacent to streets and other areas of high visibility should have similar treatment as with the primary elevation criteria. If a fence is used as a screening device, then it too should be designed to be part of the architecture.



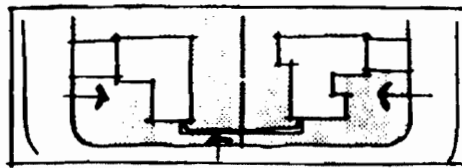
Special Treatment Area

- Corner Elevations - Place the short side elevation on the corner to reduce the feeling of height and mass at the corner. Auto entry on a corner lot is also an important consideration. The high side can be placed on the corner as long as the side elevation is treated as a primary elevation.



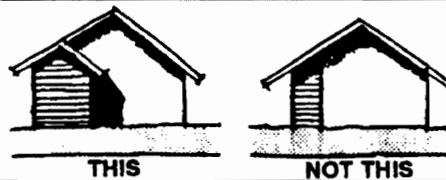
Corner Elevations

- Elevations and Side Streets - Fences or walls that connect two separate units should be of the same material and color and be compatible with the architecture of the buildings.



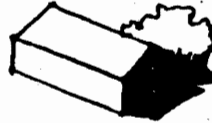
Elevations and Side Streets

- Facades - If material changes do not occur in the same plane and if they intercept an architectural element, they are more effective.

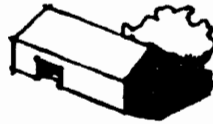


Facades

- Allow for visual relief for interest and to break up long planar surfaces. Offsets, pop-outs, overhangs and recesses all may be used to produce effective shadow interest areas. Larger buildings require more relief than do smaller buildings.



**NO SHADOW RELIEF**



**RECESSED AREA PROVIDES SHADOW RELIEF**

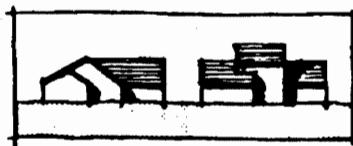


**POP-OUT OF WINDOW PROVIDES NECESSARY SHADOW RELIEF**

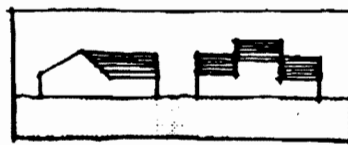
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Shadow Interest Areas

- It is desirable to accompany a plan offset with a change in the roof pitch orientation. This is important on the primary elevations.



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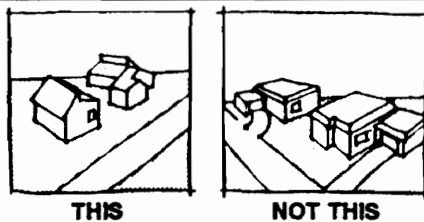
Roof Pitch Orientation

- The design theme should be continued through out the project, including accessory items such as lighting fixtures and address plaques.



Design Theme

- Roof Design - Flat roof design for residential structures should be discouraged. If used, flat roofs should be a secondary design element only and should be contained within the scheme of an individual building design. Particular consideration as to color and material should be given to the design and treatment of roofs because of their visual impact.

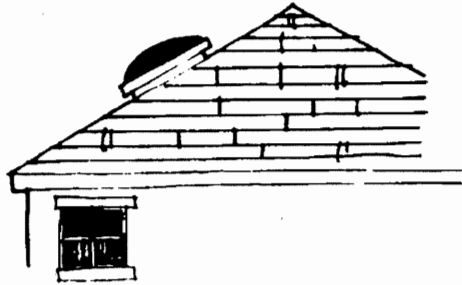


Roof Design

## 2) Details

There are many building elements that come into view. Usually they are secondary adjuncts to major element, such as a skylight on a roof. In some cases they become no more than a texture, such as a trellis. It is important in all cases, however, that these elements integrate with the whole. What may start out as a minor feature can become a distracting eyesore, if not thought through.

- Skylights should be integrated into the roof form.



### Skylights

- Chimneys are usually very strong roof elements. Codes require that they extend higher than adjacent roof lines. Careful choice of proportion and material should give them a substantial and stable appearance.
- The use of prefab fireplaces and flues is economically sound. However, they need not have the stove-pipe appearance, depending of which spark arrester is used or required by fire code. Enclosing the flue in a masonry or wood chimney with substantial proportions will solve the problem.

- Trellis/Pergolas can be very pleasing and functional structures, (i.e., carport, entry canopy). They provide partial shade, screens for privacy or an arbor for climbing plants. They offer the warmth and texture of wood at a relatively low cost. It is important to consider a trellis as a permanent structure and design it accordingly. Avoid corrugated fiberglass metal, or other temporary type material. Use adequately heavy members for the support structure working down to no less than 2" nominal for the smallest dimension of the lighter members. The trellis will look more substantial and will not bow from old age prematurely.



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Trellis/Pergola

### 3) Materials and Finish

In keeping with the goals of the Kohl Ranch to maintain and preserve the natural surroundings, designs in harmony with nature should be extended to material, finish and color selection.

- Natural materials by their nature inherently work well with the surroundings. Natural colors or transparent finishes on these materials not only enhance them, but actually improve with age and are low maintenance. Man-made materials of natural colors and textures are also suitable.
- Brick, natural tile, concrete, steel and glass, if used honestly and in a straight-forward manner, can be pleasant. Large expanses of a single material, especially if unbroken by detail or depth, can become overpowering to the rest of the building form and the surroundings. Conversely, over-detailing with use of too many different materials or textures can create confusion and distract from an otherwise good design.