

3) Neighborhood Entry Monumentation

Neighborhood entries will be placed along collector roads where they provide access to individual planning areas. These entry signs will be low monument type sign-walls as shown in Figure IV-5, *Neighborhood Entry Monumentation Elevation*. Neighborhood signage should draw substantially from residential architecture for materials, colors and detail. The following guidelines should apply to neighborhood signage.

- Neighborhood signs should be single sided and may be allowed on both sides of residential collector road.
- Neighborhood entry signage should be externally lit using light sources which can be screened from view using landscaping.

4) Minor Entry Monumentation and Signage

Minor entry monuments may be provided for all schools and parks and the commercial site in Planning Area 4. Minor entry sign types should be consistent with the following guidelines:

- Minor entry monuments and signage may be placed on both sides of major driveway entry into a commercial, residential, school and neighborhood park site. The placement of minor entry monument signs should consider reinforcing logical and safe traffic flow patterns.
- Minor entry monument signs should be one-sided signs and should be consistent with the design theme for community and project entry signs but of a slightly smaller scale and prominence.
- It is preferred the minor entry monument signs be externally and not internally illuminated. External light sources should be hidden from direct view using landscaping.

D. ARCHITECTURAL DESIGN GUIDELINES

This section sets forth the architectural and site design guidelines for the planned community of *French Valley* Specific Plan. They are intended to provide guidance for the expression of development in the community.

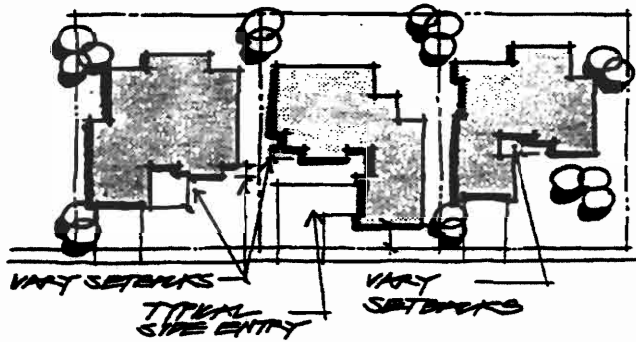
Developers, builders, engineers, architects, landscape architects and other design professionals should utilize the guidelines in order to maintain design continuity, create an identifiable image and develop a cohesive community.

This section also brings to light certain key architectural and site design “elements” that should be considered in all residential and commercial development. It is the intent of these guidelines to establish a consistent architectural expression that reflects the indigenous elements and character of the surrounding environment while at the same time allowing for flexibility in design. In addition, where not set forth in this section all applicable County standards must be satisfied. Figures IV-19 through IV-22 are provided for illustrative purposes only, as a representative example of architectural style. It is intended to convey the mass, form, materials and details associated with the architectural style as applied to the referenced lot size.

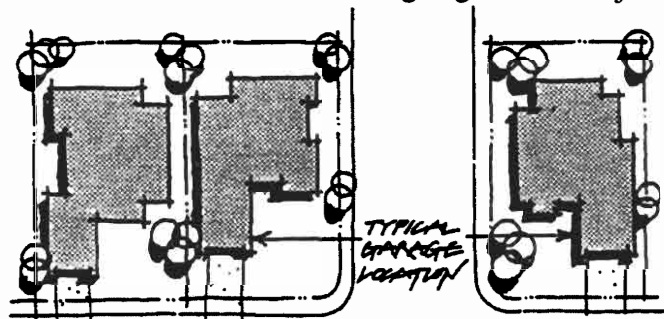
1. Residential Criteria

a) Streetscene

- Vary the front setbacks of both the garage and living space of adjacent buildings to provide visual interest along streetscene.

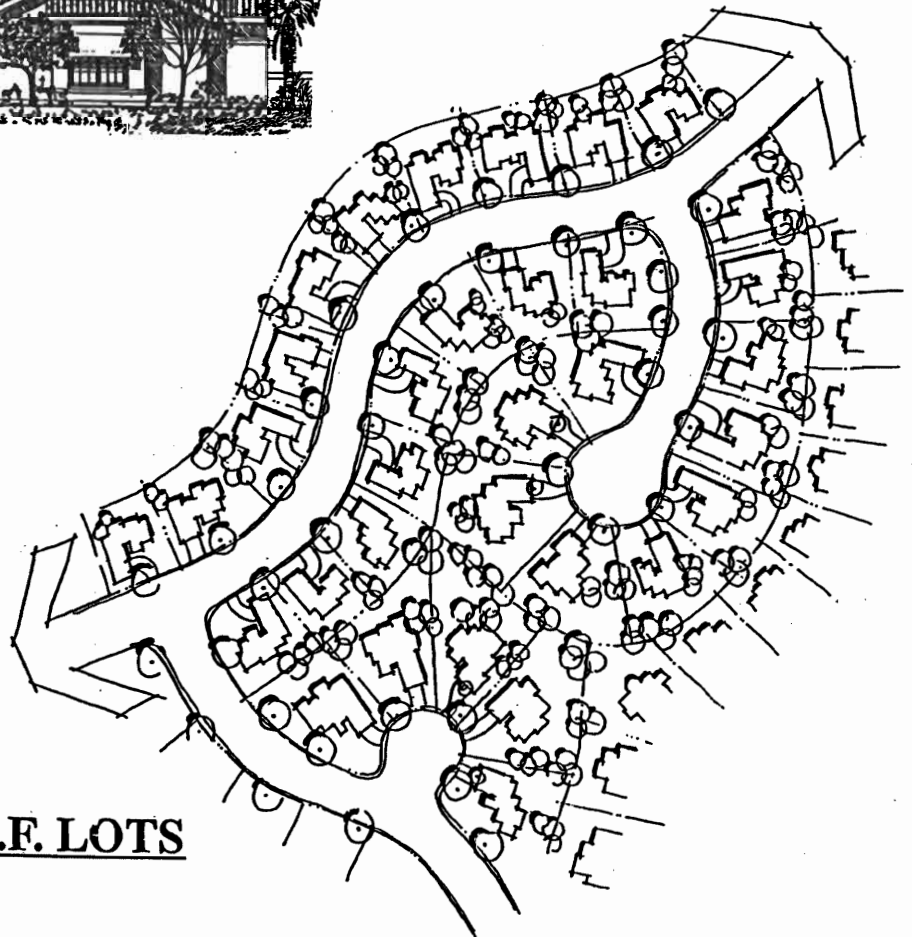
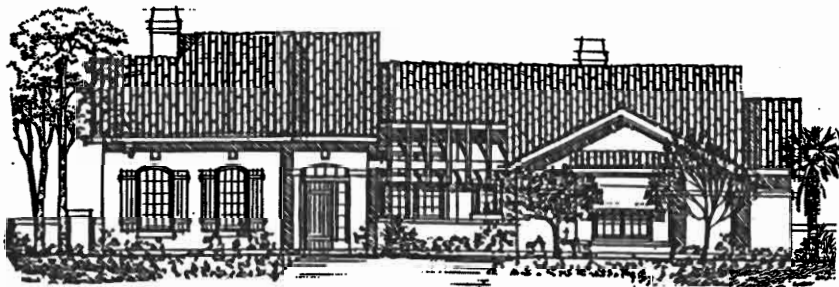


Buildings on corner lots should not have the garage located adjacent to side street.





ELEVATIONS



Note: This illustration is provided for illustrative purposes only as a representative example of architectural style. It intended to convey the mass, form, materials, and details associated with the architectural style as applied to the referenced lot size.

**MEDIUM DENSITY
RESIDENTIAL - 8,000 S.F. LOTS**

French Valley

TUCALOTA HILLS ASSOCIATES LLC
19800 MACARTHUR BLVD. SUITE 700
IRVINE, CA 92612

PLAN VIEW

FIGURE IV-19



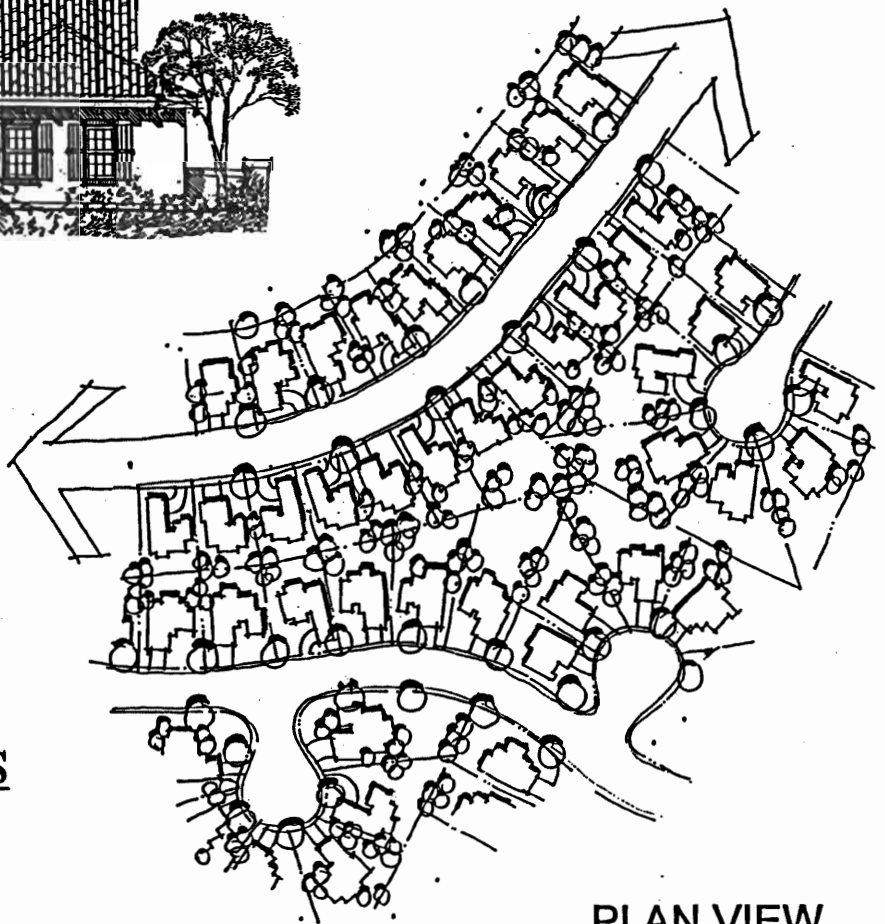
ELEVATIONS



Note: This illustration is provided for illustrative purposes only as a representative example of architectural style. It intended to convey the mass, form, materials, and details associated with the architectural style as applied to the referenced lot size.

**MEDIUM DENSITY
RESIDENTIAL -
7,200 & 6,000 S.F. LOTS**

French Valley



**PLAN VIEW
FIGURE IV-20**



ELEVATIONS



Note: This illustration is provided for illustrative purposes only as a representative example of architectural style. It is intended to convey the mass, form, materials, and details associated with the architectural style as applied to the referenced lot size.

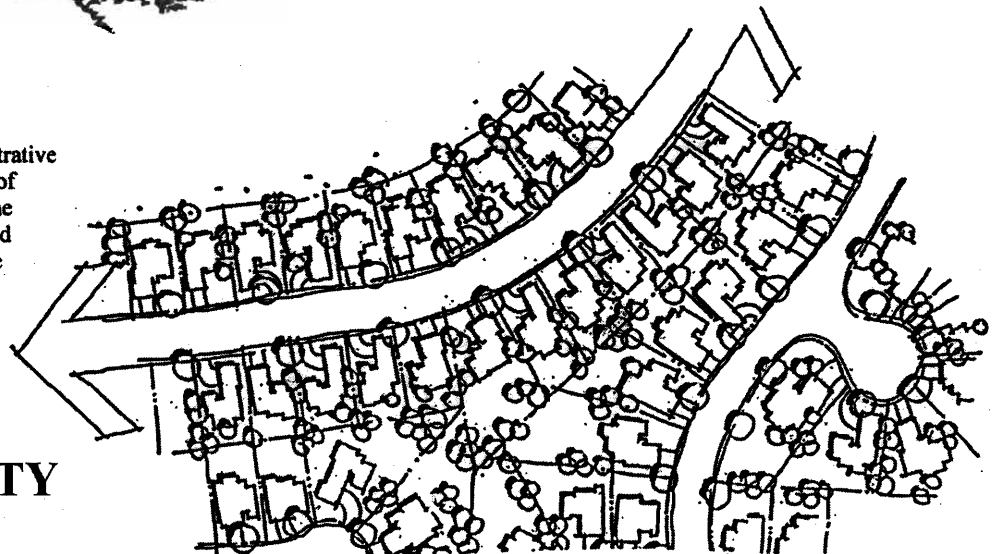


FIGURE IV-21

**MEDIUM DENSITY
RESIDENTIAL -
5,500 S.F. LOTS**
French Valley

PLAN VIEW



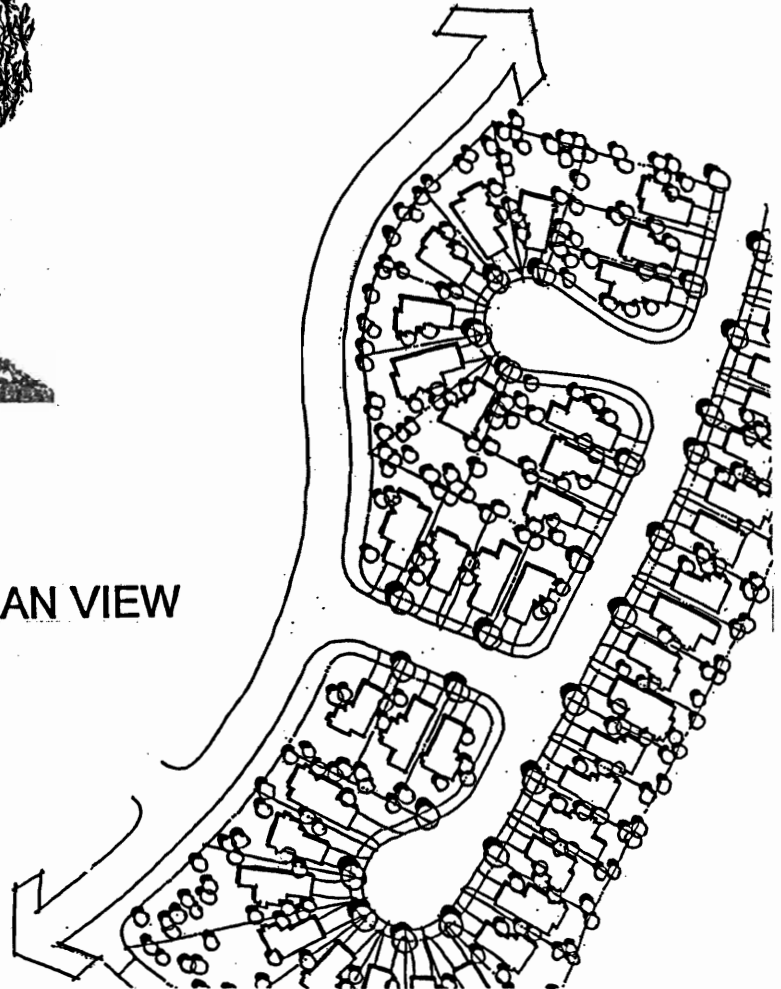
TUCALOTA HILLS ASSOCIATES LLC
19800 MACARTHUR BLVD. SUITE 700
IRVINE, CA 92612



ELEVATIONS



PLAN VIEW



Note: This illustration is provided for illustrative purposes only as a representative example of architectural style. It intended to convey the mass, form, materials, and details associated with the architectural style as applied to the referenced lot size.

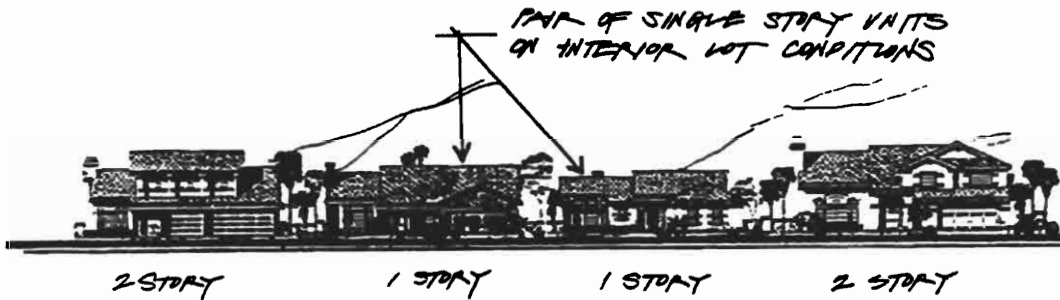
**MEDIUM HIGH
DENSITY RESIDENTIAL -
5,000 S.F. LOTS**

French Valley

TUCALOTA HILLS ASSOCIATES LLC
19600 MACARTHUR BLVD. SUITE 700
IRVINE, CA 92612

To provide for visual interest along the street, side entry or split garages are encouraged. This will allow for a varied setback and a pleasant streetscene.

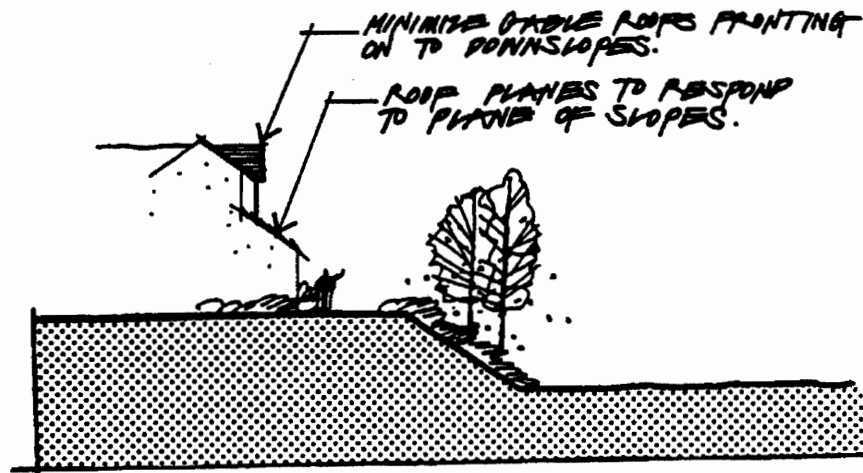
- If the mix of dwellings allows one story floor plans, they should be paired together on interior lot situations and located on corners to take advantage of their low mass effect.



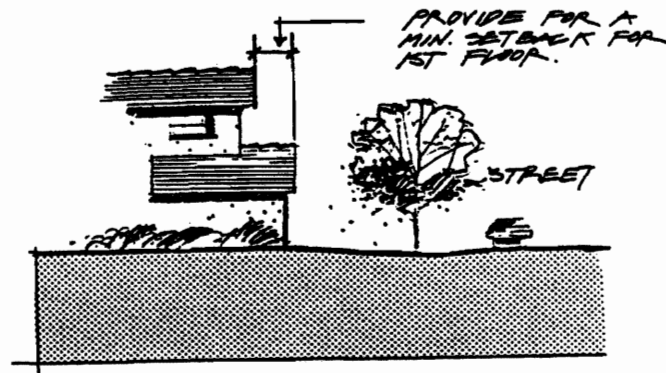
b) Architectural Guidelines

1. Roof Planes and Pitches

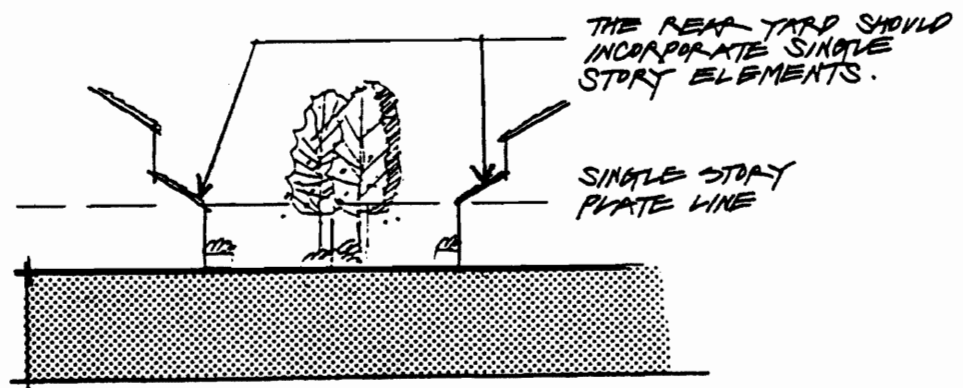
- Maximize roof planes to respond to predominate site topography, minimize gable roof conditions fronting onto downslopes.



- To provide for a reduced scale along the street, single story plate lines along front and side yard setbacks are encouraged.



- In order to lessen the effect of the building mass on the rear yards, a single story plate line should be used on a portion of the rear of the building.



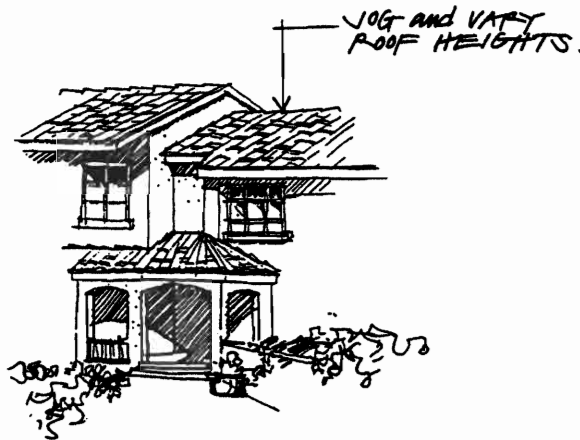
- Minimize gable roof conditions along side elevations to allow light into the side yards and to minimize the impact of combined two story components.

- To add interest and variety to the roof line, jogs and variations in height are encouraged.



2) Windows and Doors

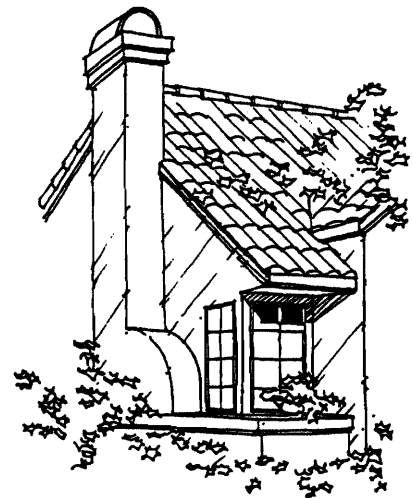
- Recessed door, window and wall openings are encouraged.
- Divided window lights are suggested to give interest.



- Avoid using gold window or door frames.

3) Elevations

- Where like floor plans are adjacent to one another, vary the front elevations to provide visual interest and to avoid repetition along the street. This should also be incorporated on rear elevations where visible from the street.
- Discourage the repetition of architectural elements on adjacent buildings.
- Articulate various architectural elements such as chimneys, balconies or porches to provide visual relief. To provide for additional visual relief, doors, windows, and garages can be recessed and/or protrusions such as window boxes may be implemented.

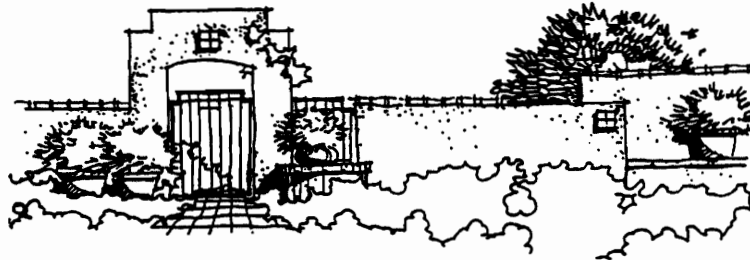


- Skylights should be incorporated into the roof design and not just arbitrarily located. Color of the frames shall compliment the color of the roof. In addition, support solar equipment must be enclosed and located out of view.



4) Walls and Fences

- All walls and fences between dwellings that are visible from the street shall be of masonry or wood material, having color and treatment consistent with that of the dwelling and shall be architecturally integrated with the dwelling.

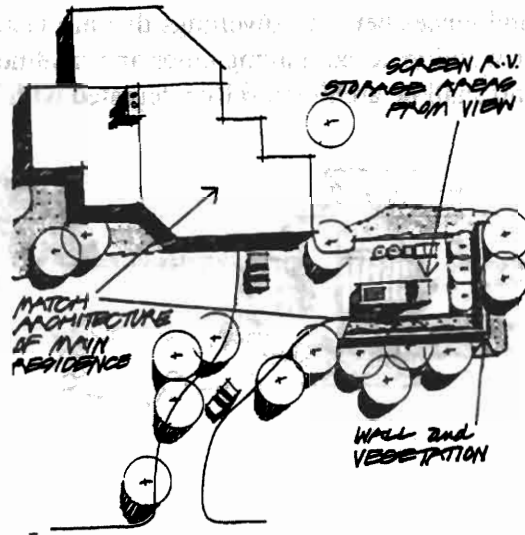


5) Materials and Color

- Exterior building materials shall be of natural appearing materials which are consistent with and reflect the natural character of the surrounding environment. This includes wood, brick masonry, adobe, concrete, stucco or plaster, natural or architectural stone.
- Color is intended as a primary theme element of the community. Consequently, the building materials colors need to be compatible with the indigenous elements of the environment. Accents are encouraged which are darker or lighter to highlight the character of the structure, bright and non-earth tone colors should be avoided except as accents.

6) Ancillary Structures

- The design of ancillary structures (guesthouses, cabanas, storage sheds, etc.) shall be compatible with the main structure through the use of architecture, fence connections and/or landscaping. Recreational vehicles and trucks shall be stored in an enclosed area and out of view of any adjacent lot or road.



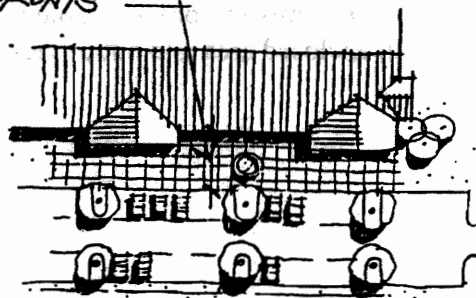
2. Commercial Criteria

a) Site Planning Guidelines

1) Streetscene

- Provide adequate separation between parking and store fronts to allow for comfortable pedestrian spaces. Vary this distance along the face of the building to provide visual interest.

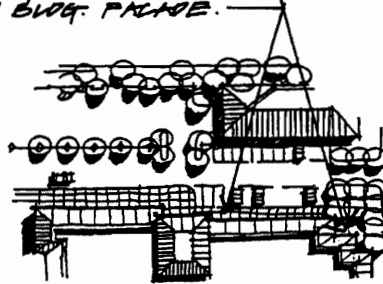
PROVIDE ADEQUATE SEPARATION BETWEEN PARKING AND STORE FRONTS



- Loading zones shall be site planned to avoid exposure to adjacent streets, highways and residential zones. Incorporating walls, fences and trellis structures can also be used to help screen areas.
- Exterior storage areas and trash enclosures shall be placed in such a manner to minimize the exposure of such elements.

- Parking areas shall be placed in such a manner to allow for landscaping or low, decorative walls or a combination thereof to be placed around the perimeter. These walls and/or berms should screen cars only and leave visual access to store fronts. In addition, landscape parking islands shall be designed for easy access and define the pedestrian routes from car to storefront.
- b) Architectural Guidelines
- 1) Building Elevations
- Avoid creating elevations that do not vary in plan. It is recommended that the exterior walls have a varied setback creating an interesting building elevation or facade. In addition, the architecture should relate to the human scale of someone using the space.

VARY EXTERIOR WALLS
IN BLDG. PROFILE.



- Utilize significant architectural elements such as arcades, arches and stairways to articulate the building facade, thus providing visual interest in addition to creating pedestrian spaces.

ARCADES OR ARCHES
FOR VISUAL INTEREST.



2) Mechanical Equipment

- Mechanical equipment on roofs shall be screened from view of public streets with materials consistent with those of the building.

3) Roof Planes and Treatments

- Vary roof lines by maximizing offsets of roof planes and combining single story elements with two story elements.



- Flat roofs with parapet walls are acceptable but should also be used in combination with simple pitched gable, hip or shed roof forms.

4) Materials and Colors

- Exterior building materials shall be of a character which reflects the indigenous character of the surrounding environment. This includes wood, brick masonry, adobe, concrete, stucco or plaster and natural or architectural stone.
- Color is intended as a primary theme element of the community consistent with indigenous elements of the environment. Accents are encouraged which are lighter or darker to highlight the character of the structure. Bright and non-earth tone colors are not permitted except as accents.

3. School/Educational Criteria

The determination of the architectural design and site planning for school and educational buildings will be the responsibility of the school districts which will serve the *French Valley* Specific Plan community. Because school design will be the responsibility of the school district, no specific architectural design guidelines suggesting materials, finishes or colors are offered in this specific plan. However, it is encouraged that the school districts incorporate the character established by these guidelines when feasible. This plan offers several site planning guidelines which would reinforce the rustic atmosphere of *French Valley* Specific Plan by blending together the school site with adjacent neighborhood parks, detention areas, and greenbelts/drainages. See Figure IV-23, *School Site*.

a). Site Planning Guidelines

- 1) A school site plan should consider providing a campus setting which orients outdoor recreational open space adjacent to community greenbelts/drainages, detention basins, and neighborhood parks.
- 2) The land use interfaces between schools and greenbelts/drainages, detention basins, or parks should provide implied rather than direct physical separation of those open spaces.
- 3) Linkages between pedestrian circulation systems within school sites and parks, detention basins, or greenbelts/drainages should be encouraged.

E. SITE GRADING

Site grading for *French Valley* will be planned in a manner which attempts to retain as much of the topographical character of the project site as possible. The intent of the conceptual grading design is to create and retain views within and beyond the specific plan area. To control the appearance of grading improvements and to limit the potential for any visual impacts as a result of site grading, the following guidelines should be followed:

- A. Site grading should be conducted in accordance with an overall master grading plan to avoid a "piecemeal" grading approach.
- B. Variable slope gradients and "landform" grading concepts should be incorporated into the final grading plans.
- C. In general, long continuous "engineered" slopes with hard edges and no transition should be avoided. In some areas, however, where manufactured slope banks occur between residential units and are not visible from public streets, slopes may be allowed to present a more engineered or geometric form.
- D. Where soil conditions permit, slope banks should use a combination of slope inclinations (2:1, 3:1, 1-1/2:1) to help create a more natural appearing transition in grades.
- E. Whenever possible, circulation elements such as roads, walkways, paths and trails should respond to existing and manufactured topography conditions by meandering in long, graceful curves.
- F. Where manufactured slopes meet natural grades, slopes should be contour graded, blended, rounded and undulated whenever feasible, allowing them to visually blend with existing grades.
- G. All manufactured slope banks should be effectively revegetated to control the incidence of surficial soil erosion resulting from drainage run-off.
- H. See Section III.A.6, Grading Plan, for related issues and development standards.