

III. Specific Plan

A. DEVELOPMENT PLANS AND STANDARDS

1. Planning Objectives

Many important issues were thoroughly examined and considered during the preparation of this Specific Plan. Engineering feasibility, market acceptance, economic viability, County Comprehensive General Plan goals, Southwest Area Community Plan goals, development phasing, and local community goals all were considered during the planning process. In order to ensure the functional integrity, economic viability, environmental sensitivity and positive aesthetic impact of this Specific Plan, specific planning and development goals for the project were established and supported by this extensive analysis. With these specific project goals in mind, the *French Valley* Specific Plan:

- Furnishes a plan for development that is sensitive to the environment as well as aesthetically pleasing, and is one that provides for noise suppression, protection of health and safety and the promotion of the people, community, and region.
- Considers topographic, geologic, hydrologic, and environmental opportunities and constraints to create a design that essentially conforms to the condition of the land by maintaining and using basic landforms where practical.
- Implements housing type diversity by providing a variety of detached single family residential lots in traditional subdivision layouts that will be marketable within the evolving economic profile of surrounding communities of Temecula and Murrieta, as well as within Riverside County.
- Establishes a project-wide circulation system that meets regional and local transportation needs and accommodates a variety of transportation modes.
- Provides a system of public and community facilities, including two school sites and two active parks to support development in an efficient and timely manner and meet the needs of project residents and residents of surrounding communities.
- Reinforces the community identity of the project vicinity through control of project design elements such as architecture, landscaping, color, paving, walls, fencing, signage, and entry treatments.
- Develops an environment that is visually attractive and efficiently and effectively organized, including a pleasing landscape palette.
- Maintains consistency with the County's Noise Element by properly mitigating noise generating uses that exceed the maximum suggested dBA level.

- Integrates with the character of surrounding communities and establishes development that results in logical coordinated growth.
- Provides for a long-range comprehensive planning approach to development which cannot be accomplished on a parcel-by-parcel basis.
- Establishes a land use plan that is consistent with the French Valley Airport Comprehensive Land Use Plan to ensure the compatibility of urban development in the vicinity of the airport.

2. Specific Land Use Plan

a. PROJECT DESCRIPTION

Upon completion, the *French Valley* Specific Plan will contain a high quality residential community, primarily composed of residential, school, park and open space land uses on 607.8 acres. Residential planning areas vary in density from 2.9 du/ac to 5.8 du/ac. The various residential product types will be designed to meet the market need in the urbanizing French Valley area of Riverside County, while maintaining a sensitive approach to design relative to sensitive biological resources, existing topography, and additional environmental conditions. When fully developed, a maximum of 2,092 dwelling units will be built in *French Valley*. These residences will be divided among a range of lot sizes as depicted in Figure III.A-1, *Specific Plan Land Use Plan*. The *French Valley* Specific Plan will ensure a well balanced community by incorporating commercial uses, school sites, parks, and open space uses into a master-planned development.

Specific information on each of the planning areas within *French Valley* is provided in the *Detailed Land Use Summary* (Table III.A-1), within Section III.B, *Planning Area Development Standards*, and on Planning Area Figures III.B-1 through III.B-18.

The proposed land uses within *French Valley* are as follows:

- ❑ **Residential.** Residential densities within the project will average 4.5 dwelling units per acre. In conformance with project goals, a variety of housing styles, sizes and values are proposed, appealing to a wide range of future *French Valley* residents. Residential planning areas account for 461.5 acres of the project site, containing a maximum of 2,092 dwelling units. The housing mix will fall within two density ranges, “Medium” (2-5 du/ac) and “Medium High” (5-8 du/ac).
 - **Medium Density Residential** (2-5 du/ac) - will consist of 1,569 dwelling units on 367.3 acres of land. These units are proposed for Planning Areas 6, 7, 9, 10, 12, 13, 14, 15, 16, 18, 21, 23, 25, 26, 29, 30, 31, 32 and 33.
 - **Medium High Density Residential** (5-8 du/ac) - will consist of 525 dwelling units on 94.2 acres of land. These units are proposed for Planning Areas 5, 11, 17, 20, 27 and 28.
- ❑ **Commercial.** Planning Area 4 will consist of 1.7 acres of commercial land uses. The commercial site may tie in with the adjacent proposed commercial property to the east and could feature such uses as a convenience store, supermarket, bank, pharmacy, restaurant and/or other similar retail and service uses.
- ❑ **Schools.** Two (2) school sites are planned on a total of 20.0 acres of land, in Planning Areas 19 and 24, each consisting of 10.0 acres. The school site in Planning Area 24 is strategically located adjacent to a proposed park, enabling the school to take advantage of additional recreational opportunities. Both school sites are located near the Greenbelt which links both parks to the north and south.

LAND USE SUMMARY

LAND USE	ACRES	DENSITY	DU'S
Medium Residential - 8,000 s.f.	62.9	3.3	208
Medium Residential - 7,200 s.f.	99.4	3.8	382
Medium Residential - 6,000 s.f.	130.2	4.7	616
Medium Residential - 5,500 s.f.	74.8	4.9	363
Medium-High Residential - 5,000 s.f.	94.2	5.5	523
Residential Subtotal	461.5	4.5	2,092
Parks	16.0	---	---
Open Space/Detention	13.3	---	---
Elementary Schools	20.0	---	---
Open Space/Expanded Parkways	54.0	---	---
Commercial	1.7	---	---
Major Roads	41.3	---	---
Nonresidential Subtotal	146.3	---	---
Project Totals	607.8	3.4	2,092














FIGURE III.A-1
SPECIFIC PLAN LAND USE PLAN

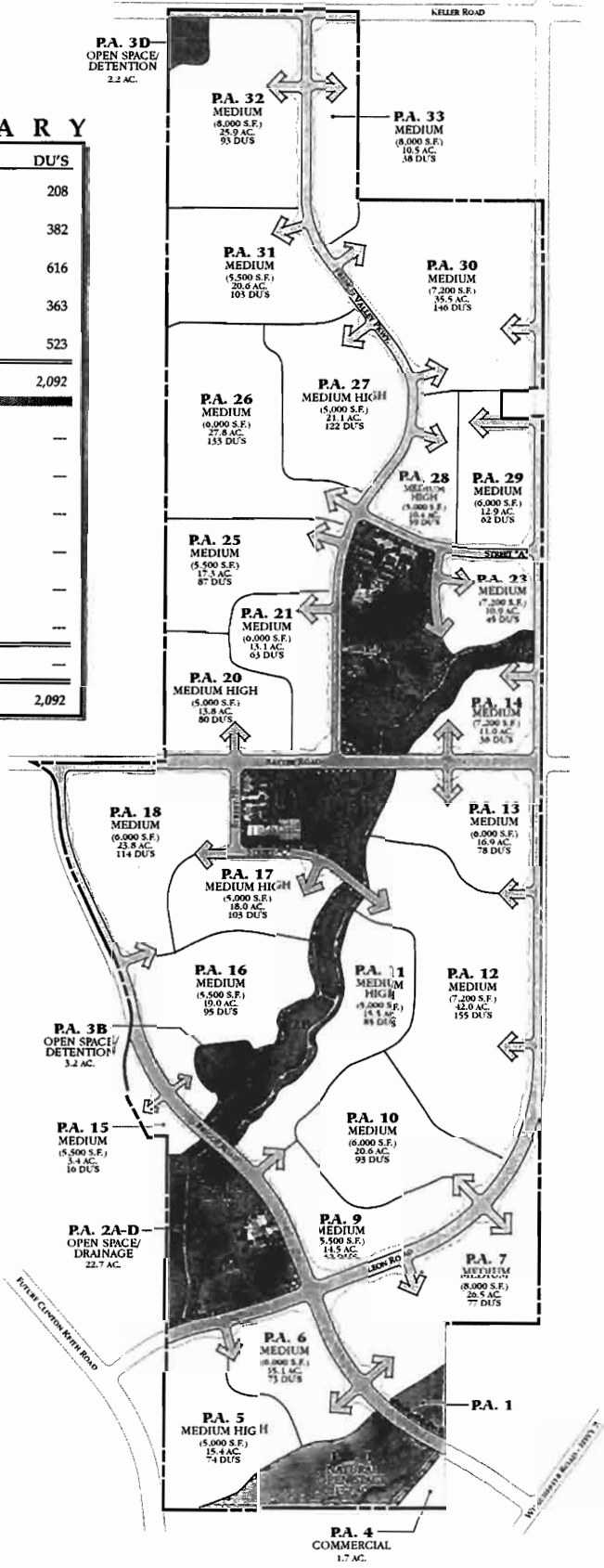
French Valley

TUCALOTA HILLS ASSOCIATES LLC
19800 MACARTHUR BLVD. SUITE 700
IRVINE, CA 92612



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 Medium Residential - 7,200 s.f.	99.4	3.8	382
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 Medium Residential - 5,500 s.f.	74.8	4.9	363
 Medium-High Residential - 5,000 s.f.	94.2	5.5	523
Residential Subtotal	461.5	4.5	2,092
 Parks	16.0	—	—
 Open Space/Detention	13.3	—	—
 Elementary Schools	20.0	—	—
 Open Space/Expanded Parkways	54.0	—	—
 Commercial	1.7	—	—
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Nonresidential Subtotal	146.3	—	—
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LAND USE PLAN

French Valley

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FIGURE IIIA-2



**TABLE III.A-1
DETAILED LAND USE SUMMARY**

LAND USE	PLANNING AREA	ACRES	DENSITY RANGE	TARGET DENSITY	MAXIMUM DUS
RESIDENTIAL					
Medium - 8,000 s.f.	7	26.5	2-5 du/ac	2.9	77
	32	25.9	2-5 du/ac	3.6	93
	33	10.5	2-5 du/ac	3.6	38
SUBTOTAL - 8,000 SF LOTS		62.9		3.3	208
Medium - 7,200 s.f.	12	42.0	2-5 du/ac	3.7	155
	14	11.0	2-5 du/ac	3.3	36
	23	10.9	2-5 du/ac	4.1	45
	30	35.5	2-5 du/ac	4.1	146
SUBTOTAL - 7,200 SF LOTS		99.4	2-5 du/ac	3.8	382
Medium - 6,000 s.f.	6	15.1	2-5 du/ac	4.8	73
	10	20.6	2-5 du/ac	4.5	93
	13	16.9	2-5 du/ac	4.6	78
	18	23.8	2-5 du/ac	4.8	114
	21	13.1	2-5 du/ac	4.8	63
	26	27.8	2-5 du/ac	4.8	133
	29	12.9	2-5 du/ac	4.8	62
SUBTOTAL - 6,000 SF LOTS		130.2	2-5 du/ac	4.7	616
Medium - 5,500 s.f.	9	14.5	2-5 du/ac	4.3	62
	15	3.4	2-5 du/ac	4.8	16
	16	19.0	2-5 du/ac	5.0	95
	25	17.3	2-5 du/ac	5.0	87
	31	20.6	2-5 du/ac	5.0	103
SUBTOTAL - 5,500 SF LOTS		74.8	2-5 du/ac	4.9	363
Medium High - 5,000 s.f.	5	15.4	5-8 du/ac	4.8	74
	11	15.5	5-8 du/ac	5.5	85
	17	18.0	5-8 du/ac	5.7	103
	20	13.8	5-8 du/ac	5.8	80
	27	21.1	5-8 du/ac	5.8	122
	28	10.4	5-8 du/ac	5.7	59
SUBTOTAL - 5,000 SF LOTS		94.2	5-8 du/ac	5.5	523
RESIDENTIAL SUBTOTALS		461.5		4.5	2,092
Parks	8	10.0			
	22	6.0			
Subtotal		16.0			
Open Space/Detention	3A	4.3			
	3B	3.2			
	3C	3.6			
	3D	2.2			
Subtotal		13.3			
Elementary Schools	19	10.0			
	24	10.0			
Subtotal		20.0			
Open Space/Expanded Parkways					
	Roadway Paseos	13.6			
	Open Space/Drainage	2 A-D	22.7		
	Natural Open Space	1	17.7		
Subtotal		54.0			
Commercial	4	1.7			--
Major Roads		41.3			--
PROJECT TOTALS		607.8		3.4	2,092

- ❑ **Parks and Recreation.** Two (2) active park sites totaling 16.0 acres of land are planned for *French Valley*, in Planning Areas 8 and 22. These are located adjacent to the Greenbelt, which provides a pedestrian linkage nearby. The park sites will offer a variety of passive and active recreational opportunities to residents of the *French Valley* community, according to the Improvement Standards of the Valley-Wide Recreation and Park District. Parks are further delineated in Section IV.A., *Landscape Guidelines*.
- ❑ **Open Space and Drainage.** A total of 40.4 acres are proposed for open space and drainage in Planning Areas 1 and 2A-D. In Planning Area 1, a 17.7-acre area is designated as natural open space. In this area, a tributary to Warm Springs Creek will be preserved. A second unnamed drainage will be preserved in a linear greenbelt in Planning Areas 2A-D. Within the 22.7-acre greenbelt, a manufactured open space buffer will be provided to separate the drainage from adjacent residential development. A pedestrian paseo will be located in this linear greenbelt area which will parallel the edge of the drainage, providing recreational and aesthetic qualities for the project.
- ❑ **Expanded Parkways/Roadway Paseos.** Approximately 13.6 acres of the project site are dedicated to expanded landscaped parkways/roadway paseos. The parkways are planned along both sides of Briggs Road and French Valley Parkway. The acreage of the parkways has been excluded from the acreage of the planning areas that are adjacent to these streets.
- ❑ **Roads.** The project includes the implementation of approximately 41.3 acres of primary roadways. The Riverside County Master Plan of Streets and Highways, including recommendations suggested by the Airport Community Transportation Study (ACTS), will adequately serve future traffic volumes for the region. On-site traffic will be conveyed by a hierarchical circulation system which ranges in right-of-way width from 60 feet to 100 feet.

b. LAND USE DEVELOPMENT STANDARDS

To ensure the orderly and sensitive development of land uses proposed for the *French Valley* Specific Plan, special mitigation measures have been created for each planning area. These area-specific standards, which are thoroughly discussed in Section III.B., *Planning Area Development Standards*, will assist in efficiently implementing the proposed development. In addition to these specific guidelines, project-wide development standards have also been prepared which complement the diverse conditions within each planning area. These general standards are:

- 1) The total Specific Plan area shall be developed with a maximum of 2,092 dwelling units on 607.8 acres, as illustrated on Figure III.A-1, *Specific Land Use Plan*. General uses permitted will include residential, commercial, schools, active parks, and open space as prescribed on the *Specific Land Use Plan* and on the individual planning area figures (Figures III.B-1 through III.B-18). A maximum number of dwelling units is specified for each residential planning area. In no case shall the total number of dwelling units exceed 2,092.

If a transfer of dwelling units is proposed between planning areas, the Master Developer or his Assignee shall be responsible for providing the County with a "Development Transfer

Status Report” at the time that implementing subdivisions are submitted. This report will specify the entitlement and development status of each planning area including the following information:

- a. Specific Plan Planning Area allocation of dwelling units.
- b. Number of dwelling units entitled under an Implementing Subdivision by Planning Area.
- c. Number of dwelling units transferred to or from each Planning Area that is already entitled or proposed to be entitled with an implementing subdivision.

Same
as
before

The “Development Transfer Status Report” must demonstrate that the total number of dwelling units for the project will not exceed 2,092.

Dwelling units may not be transferred out of a Planning Area unless an implementing subdivision is approved (previously or concurrently) for that Planning Area. The “Development Transfer Status Report” will assume that all Planning Areas for which an implementing subdivision has not been filed or approved will develop with the number of dwelling units allocated by the Specific Plan.

The County shall not approve any transfer of dwelling units between Planning Areas unless the Developer submits the “Development Transfer Status Report” with the application for an implementing subdivision.

- 2) Uses and development standards will be in accordance with Riverside County Ordinance No. 348 and the *French Valley* Specific Plan Zoning Ordinance and will further be defined by Specific Plan objectives, the Specific Plan design guidelines, and future detailed development proposals including subdivisions, plot plans, and conditional use permits.
- 3) As a requirement of the California Solid Waste Reuse and Recycling Act of 1991, the *French Valley* project shall provide adequate areas for collection and loading recyclable materials in public facilities, commercial projects, business areas, and single family residential areas, where solid waste is collected and loaded in a location which serves five or more units.
- 4) Standards relating to signage, landscape, parking and other related design elements will conform to the Ordinance No. 348 of the County of Riverside. When appropriate and necessary to meet the goals of this Specific Plan, the standards contained within this document will exceed the zoning ordinance requirements. In addition, a Specific Plan Zoning Ordinance for *French Valley* will be processed concurrently with this Specific Plan.
- 5) All project lighting shall be in accordance with applicable Riverside County standards, including Ordinance No. 655 regarding Mt. Palomar Observatory standards.
- 6) Development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinances Nos. 348 and 460. This Specific Plan conforms with State laws.

- 7) Except for the Specific Plan Zone Ordinance adopted concurrently with Specific Plan, no portion of this Specific Plan which purports or proposes to change, waive, or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted Specific Plan
- 8) A land division filed for the purpose of phasing or financing shall not be considered an implementing development application and, as such, shall not be subject to this Specific Plan, provided that if the maintenance organization is a property owners' association, the legal documentation necessary to establish the association shall be recorded concurrently with the recordation of the final map.
- 9) Common areas identified in the Specific Plan shall be owned and maintained as follows:
 - a) A permanent master maintenance organization or several masters organizations may be established for the Specific Plan area, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems, and landscaped areas. The organization(s) may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association, neighborhood associations may be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
 - b) Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
 - c) The maintenance organization shall be established prior to, or concurrent with, the first land division or issuance of any building permit for any approved development permit. The ownership and maintenance responsibility shall be identified for each open space lot at the time Tentative Subdivision Maps are filed.
- 10) The applicant shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees from any claim, action, or proceeding against the County of Riverside or its agents, officers, or employees to attach, set aside, void, or annul an approval of the County of Riverside, its advisory agencies, appeal boards, or legislative body concerning the approval process for Specific Plan. The County of Riverside will promptly notify the applicant of any such claim, action or proceeding against the County of Riverside and will cooperate fully in the defense. If the County fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the County of Riverside.

- 11) Prior to issuance of a building permit for construction of any use contemplated by this Specific Plan approval, the applicant shall first obtain clearance from the County of Riverside Planning Department verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.
- 12) An environmental assessment shall be conducted to determine potential environmental impacts resulting from each tract, change of zone, plot plan, specific plan amendment, or any land use application required to implement the Specific Plan, unless said proposal is determined to be exempt from the provisions of the California Environmental Quality Act. The environmental assessments shall be prepared as part of the review process for these implementing projects.
- 13) Lots created pursuant to this Specific Plan and any subsequent tentative maps shall be in conformance with the development standards of the Specific Plan zone herein applied to the property.
- 14) Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures, and circulation (vehicular, pedestrian, and/or bicycle).
- 15) If necessary, roadways, infrastructure, parks, and open space may be coordinated by and paid for through an assessment or community facilities district or community service area to facilitate construction, maintenance and management.
- 16) Final development densities for each planning area shall be determined through the appropriate development application up to the maximum density identified based upon but not limited to the following: a) adequate availability of services; b) adequate access and circulation; c) innovation in building types and design; d) sensitivity to landforms; e) density transfer; f) sensitivity to neighborhood design through lot and street layouts; g) lot sizes as proposed by this Specific Plan; and h) density bonuses for affordable housing.
- 17) Areas designated as open space that will be conveyed within parcel boundaries to individual property purchasers shall be deed restricted so as to create open space easements and prohibit grading, construction, or other development activity in such open space.
- 18) Designation and/or dedication of park land and open space acreage within the project site will be based on the final number of dwelling units and corresponding population generated by the *French Valley* Specific Plan (as adopted by the Riverside County Board of Supervisors, unless otherwise amended) and will satisfy both County and State requirements for park land. In no event shall such acreage be less than that set forth on Figures III.A-1 and III.A-2, *Specific Land Use Plan*, and Table III.A-1, *Detailed Land Use Summary*.
- 19) Prior to the issuance of building permits, improvement plans for adjacent developed common open space areas, including irrigation plans, shall be submitted for Planning

Department approval for the stage of development in question. Irrigation plans shall be certified by a landscape architect.

- 20) For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract:
- a) Circulation for pedestrians, vehicles, and police patrols.
 - b) Lighting of streets and walkways.
 - c) Visibility of doors and windows from the street and between buildings, where practical.
 - d) Fencing heights and materials which are developer's responsibility.

The following crime prevention measures shall be considered during site and building layout design, in addition to those above, for the security and safety of future residents:

- a) Addresses which light automatically at night.
- ✓ b) Special lighting requirements on any buildings that are grouped in such a way that individual addresses are more easy to read.

- 21) Development within the project shall conform to Title 24, Chapter 2-71, of the California Administrative Code to ensure accessibility to handicapped individuals.

- 22) It is anticipated that maintenance associations, if formed, will be established as follows:

The master property owners' association or several associations shall be charged with the unqualified right to assess their own individual owners who own individual units for reasonable maintenance and management costs which shall be established and continuously maintained. The property owners' association shall be responsible for parking, open space areas, signing, landscaping, irrigation, common areas, and other responsibilities as necessary.

- 23) Construction of certain public facilities and infrastructural requirements (such as schools, sewers, water, and roadways, among others) may be financed through a community facilities district (CFD) or an Assessment District (AD) as well. Financing of these facilities through a CFD or AD may substitute for the payment of fees that would have financed those facilities.

- 24) No second story balconies shall face the roadway for units located inside the 60 CNEL impact zone due to potential noise impacts. If such balconies are planned, additional noise mitigation will be required.

- 25) A comprehensive geotechnical report shall be submitted for review and approval to the Riverside County Planning Department Engineering Geologist with each Tentative Map or use permit.
- ✓ 26) All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of Riverside County Ordinance No. 460 and/or No. ~~787~~, subject to approval by the Riverside County Fire Department. Fire flows over 3,000 gpm shall be for three (3) hours duration.
- ✓ 27) Flag lots shall not be permitted within the *French Valley* Specific Plan area.
- 28) Noise attenuation measures shall be incorporated into residential building construction to ensure interior noise levels are at or below 45 dB(A).
- 29) No building shall exceed 150 feet above the French Valley Airport's field elevation.
- 30) Uses discouraged within the French Valley Airport's Traffic Pattern Zone (generally south of Baxter Road) include public and semi-public uses involving large concentrations of people (the elementary school site in Planning Area 19 is an exception because no feasible alternative locations exist with the Murrieta Valley Unified School District). Other discouraged uses in the Airport's Traffic Pattern Zone include uses that manufacture, store, or distribute explosive or hazardous materials, uses that generate smoke or electrical interference, and any use that would attract large concentrations of people or birds.
- 31) Prior to recordation of any land division or sale of the property to any entity exempt from the Subdivision Map Act, the project proponents shall convey an avigation easement to the French Valley Airport.
- 32) Any uses that would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at French Valley Airport are prohibited. Hooded or shielded outdoor lighting shall be installed to prevent either spillage of lumens or reflections into the sky.