

V. SPECIFIC PLAN

A. PROJECT-WIDE DEVELOPMENT PLANS AND STANDARDS

The following sections of THE ENCLAVE SPECIFIC PLAN (SP 331) illustrate and describe the project-wide development plans and standards as they relate to land use, circulation, drainage systems, landscaping, water and sewer systems, recreational facilities, phasing, grading and comprehensive maintenance for the entire specific plan area.

1. COMPREHENSIVE LAND USE PLAN

a. Project Objectives

A clear statement of project objectives allows for the analysis of reasonable alternatives to the proposed project. A range of reasonable alternatives, both on- and off-site, that would feasibly attain most of the basic project objectives, while avoiding or substantially lessening the significant effects of the project, must be analyzed per CEQA Guidelines Section 15126.6. The overall intent of THE ENCLAVE SPECIFIC PLAN is to provide high quality residential and commercial uses to serve existing and future residents of the Eastvale area of Riverside County. To achieve this intent, the following are the basic key development objectives of THE ENCLAVE SPECIFIC PLAN:

1. To provide housing opportunities for households with a variety of incomes levels within close proximity of employment centers located in adjacent cities and the County of Riverside.
2. To provide a variety of needed housing types within a gated environment and within walking distances of community services.
3. To interface in a sensitive manner with the existing rural/agricultural uses within the area by providing generous landscaping.
4. To encourage outdoor activity and wellness by providing neighborhood parks, open spaces, and sidewalks that connect to local services and a regional bicycle system.

b. Project Description

THE ENCLAVE SPECIFIC PLAN will create a gated residential community consisting of four varieties of residential opportunities developed with recreation facilities to serve the residents of the project. THE ENCLAVE SPECIFIC PLAN has been designed with the goal of providing a variety of housing types, styles, and sizes that will attract a variety of buyers into a well-balanced, master-planned community.

The site has been divided into five sections on the basis of the different land uses. These sections of the site are hereafter referred to as “Planning Areas,” and are shown on Figure V-1,

Comprehensive Land Use Plan. These various Planning Areas will include four different residential products developed with recreation facilities to serve the residents of the project. THE ENCLAVE SPECIFIC PLAN will also provide the Eastvale area with commercial development.

The following Project Description gives a detailed summary by land use type.

Residential

THE ENCLAVE SPECIFIC PLAN provides for a maximum of 490 dwelling units on 97 acres of land for an overall Specific Plan density of 5.0 dwelling units per gross acre of residential land.

The project, as proposed, includes four residential planning areas with four different densities and housing types, as described below.

Medium Density Residential – 7,200 square foot lots are proposed at 3.5 dwelling units per acre totaling approximately 82 dwelling units on approximately 24 gross acres in **Planning Area 4**. The maximum number of dwelling units in this planning area shall not exceed 108 units. Planning Area 4 is located along the southern and eastern portions of the site. Planning Area 4 is designated to have a 7,200 square foot minimum lot size. The maximum number of dwelling units in this planning area shall not exceed 82 units. One 0.45 acre park is located within this planning area. Planning Area 1 is located in the northeast corner of the site. Landscaped streets with sidewalks provide pedestrian and vehicular access within and between planning areas.

Medium Density Residential – 6,500 square foot lots are proposed at 4.0 dwelling units per acre totaling approximately 119 dwelling units on approximately 30 gross acres in **Planning Area 5**. The maximum number of dwelling units in this planning area shall not exceed 119 units. One linear park is located along the southern boundary of this planning area, taking advantage of a Southern California Edison easement. The park in this planning area is 3.01 acres in size. Planning Area 5 is located along the southern and western portions of the site. Planning Area 5 is designated to have a 6,500 square foot minimum lot size. Landscaped streets with sidewalks provide pedestrian and vehicular access within and between planning areas.

High Density Residential - Green Courts are proposed at 5.4 dwelling units per acre totaling approximately 106 detached dwelling units on approximately 20 acres in **Planning Area 2**. The maximum number of dwelling units in this planning area shall not exceed 106 units. Planning Area 2 is located in the northwest corner of the site. Planning Area 2 is designated to have a 2,030 square foot minimum lot size. The lots are grouped around common green spaces through which pedestrian access occurs. The lot sizes vary within this product type to create the “green courts,” with the minimum lot size occurring only on interior lots within the clusters of buildings. Front doors face either a green court or a street. Garages are accessed via common alley drives. There will be three parks within this planning area; one located on the west side of the planning area (0.68 acres); one located on the east side of the planning area (0.13 acres); and a recreation center (1.87 acres).

High Density Residential – Alley Loaded Lots are proposed at 7.9 dwelling units per acre totaling approximately 183 detached dwelling units on approximately 23 acres in **Planning Area 3**. The maximum number of dwelling units in this planning area shall not exceed 200 units. Planning Area 3 is located along the western boundary of the Specific Plan. Planning Area 3 is designated to have a 2,625 square foot minimum lot size. Alley loaded homes have front doors facing the sidewalk and street. This front-door streetscape presents a pedestrian friendly neighborhood scene, free of curb cuts for vehicular access. Garages are all located at the rear of lots with access from alleys. There are no parks proposed for this planning area, however, 3.01 acres of parks located in Planning Area 5 is located adjacent to this planning area.

Commercial

Under the standards and guidelines set forth in THE ENCLAVE SPECIFIC PLAN, **Planning Area 1** will be developed as a neighborhood commercial center. Intended uses could include businesses such as a grocery store, a drug store, and other commercial uses that would serve the needs of the local residents. Planning Area 1 would not exceed 25 percent site coverage (building footprint/acreage), or a maximum of 121,000 square feet. A 0.92 park will be located at the southern boundary of this Planning Area and will act as a buffer between the project entry, “B Street”, as well as provide the pedestrian access point into the commercial center from the gated Enclave community.

Parks and Recreation

The recreation component of THE ENCLAVE SPECIFIC PLAN includes six parks for a total of 7 acres. The Central Recreation Center, located in Planning Area 2 will contain the recreation center for The Enclave development. This facility will include a tennis court/sport court, a half-court basketball court, a pool, spa, a tot lot, trails, gardens, barbeque areas as well as a clubhouse.

Table V-A-1, Parks

Park Location	Acreage
PA 1 – south of commercial	0.92
PA 2 – west of commercial	0.134
PA 2 – eastern portion	0.68
PA 2 – Central Rec Center	1.87
PA 3	No Park Proposed
PA 5 – Pocket Park	0.91
PA 4 & 5 – Linear Park	2.55
TOTAL	7.06

The other parks located within Planning Areas 2, 4 and 5 include both active and passive recreational facilities to serve the needs of the Enclave community. The park in Planning Area 1 serves as a buffer to the proposed commercial uses as well as a passive park.

Public Facilities

No public facilities are proposed to be located within THE ENCLAVE SPECIFIC PLAN other than the public rights of way associated with Archibald Avenue and Schleisman Road. All

streets and parks proposed within the gated community are private. For a detailed description of the proposed circulation system, see Section V.A.2.

c. Land Use Summary

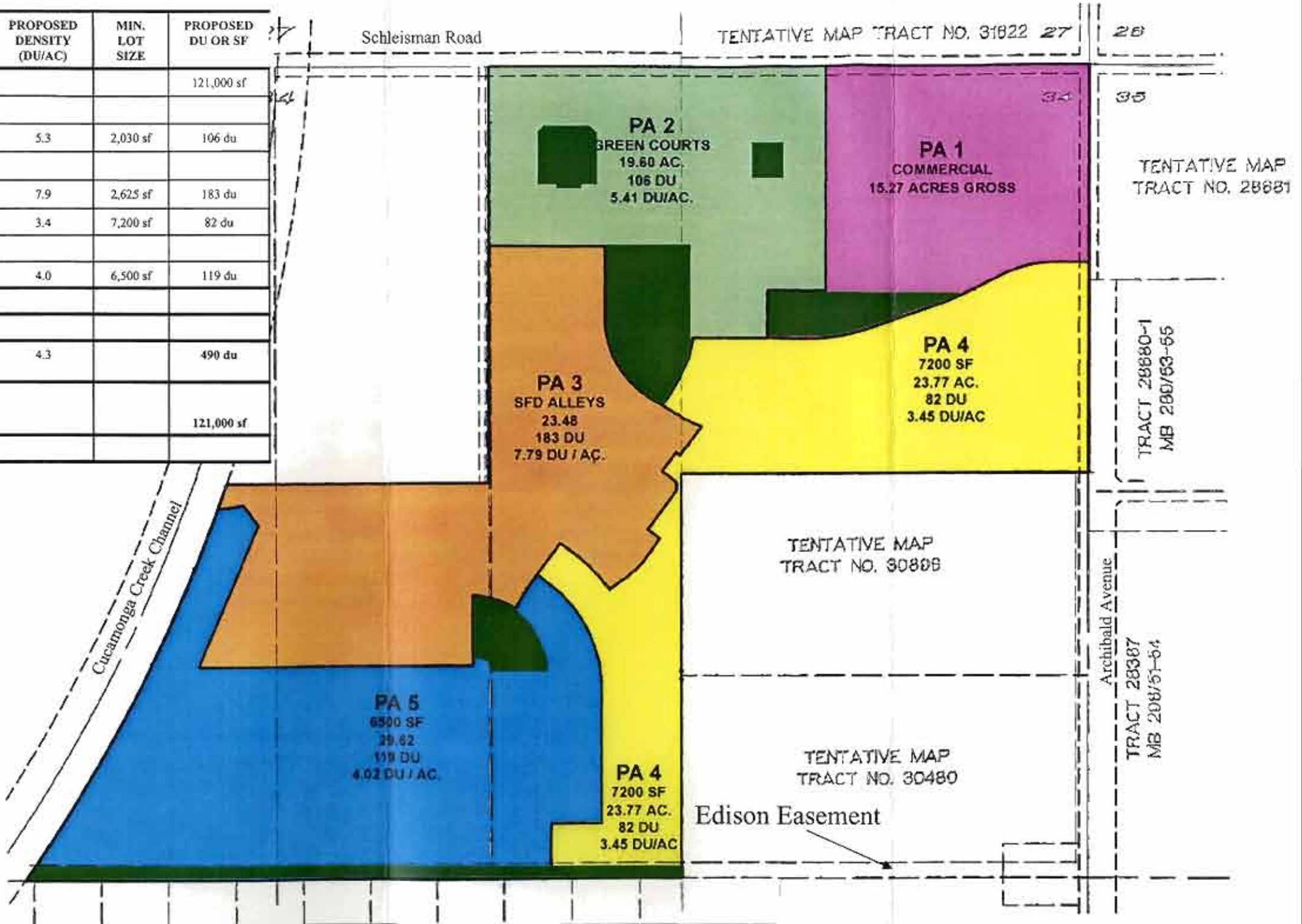
The following table summarizes the uses and acreages included within each Planning Area and establishes the maximum number of dwelling units and commercial square feet allowed within this Specific Plan. Figure V-2 is a black and white reduction of the Comprehensive Land Use Plan described above and is summarized in Table V-A-2.

Table V-A-2, Land Use Summary Table


PLANNING AREA	LAND USE	APPROX. ACRES	PROPOSED DENSITY (DU/AC)	MIN. LOT SIZE	PROPOSED DU OR SF
1	Commercial	15			121,000 sf
	Parks	0.92			
2	High Density - Green Courts	20	5.3	2,030 sf	106 du
	Parks	2.68			
3	High Density-Alley Loaded	23	7.9	2,625 sf	183 du
4	Medium Density Residential	24	3.4	7,200 sf	82 du
	Parks	0.45			
5	Medium Density Residential	30	4.0	6,500 sf	119 du
	Parks	3.01			
	PARKS TOTAL	7.06			
	RESIDENTIAL TOTAL (includes park acreage)	97	4.3		490 du
	COMMERCIAL TOTAL	15			121,000 sf
	TOTAL SITE ACREAGE	112			

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LEGEND

 Parks
(See Figure V-37)

Not to Scale

N

The Enclave Specific Plan

Comprehensive Land Use Plan



Figure V-1

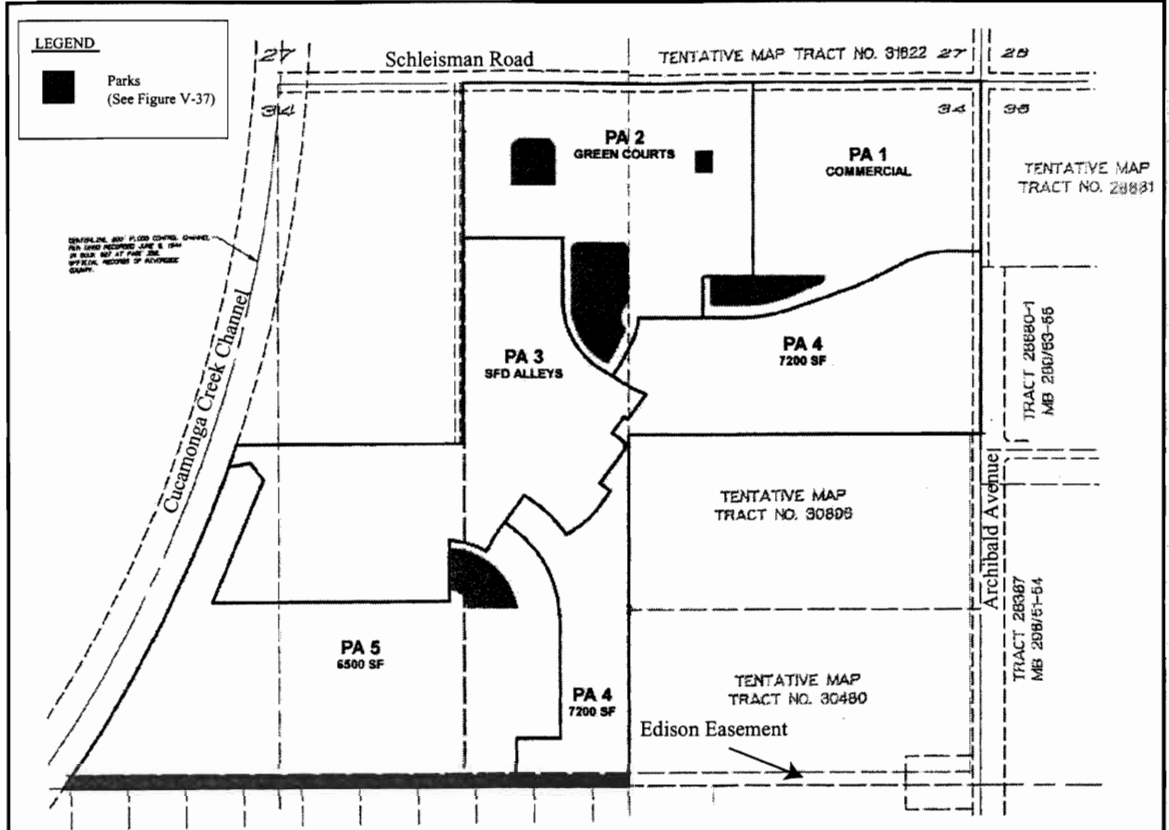


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Not to Scale



The Enclave Specific Plan

Comprehensive Land Use Plan



Figure V-2

d. Project Wide Development Standards

In order to ensure the orderly and sensible development of the land uses proposed for THE ENCLAVE SPECIFIC PLAN, land use planning and design standards have been created for each Planning Area. These planning area-specific standards, discussed in detail in Section V.B, will assist in accommodating the proposed development and provide adequate transitions to neighboring land uses.

In addition to the planning area-specific standards, project-wide development standards have also been prepared to complement those applicable to each individual Planning Area. The project-wide standards are:

- 1) THE ENCLAVE SPECIFIC PLAN shall be developed with a maximum of 490 dwelling units and 121,000 square feet of commercial uses on approximately 111 acres, as illustrated on the Comprehensive Land Use Plan (Figure V-1). General permitted uses will include residential, recreation, commercial, and circulation as delineated on the Comprehensive Land Use Plan and in the individual Planning Areas.
- 2) Uses and development standards will be in accordance with Riverside County Ordinance No. 348 as amended by THE ENCLAVE SPECIFIC PLAN Zoning Ordinance and will be further defined by Specific Plan objectives, the Specific Plan design guidelines, and future detailed development proposals including subdivision, plot plans and conditional use permits.
- 3) Standards and guidelines relating to signs, landscaping, parking and other related design elements will conform to Riverside County Ordinance No. 348 (Land Use Ordinance) unless exceeded by the guidelines and standards within THE ENCLAVE SPECIFIC PLAN.
- 4) All project lighting shall be in conformance with applicable Riverside County standards, including Ordinance No. 655.
- 5) Development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinance Nos. 348 and 460 and State laws; and shall conform substantially to Specific Plan No. 331 as filed in the office of the Riverside County Planning Department, unless otherwise amended.
- 6) Except for the Specific Plan Development Standards/Design Guidelines and Specific Plan Zoning adopted concurrently with this Specific Plan, no portions of the Specific Plan which purport or propose to change, waive or modify any ordinance or other legal requirement for development shall be considered to be part of the adopted Specific Plan.
- 7) Lots created pursuant to this Specific Plan and associated tentative map shall be in conformance with the development standards of the Specific Plan zone applied to the property, and all other applicable County standards and the Subdivision Map Act.
- 8) Flag lots shall not be permitted.

- 9) Development applications which incorporate common areas shall be conditioned for the completion of design plans for the common areas, specifying the location and extent of landscaping, irrigation systems, structures and circulation (vehicular and pedestrian and/or bicycle).
- 10) Prior to the issuance of building permits, improvement plans for developed common open space areas, including landscaping and irrigation plans, shall be submitted for Planning Department approval for the stage of development in question. Landscaping and irrigation plans shall be certified by a landscape architect. The improvement plans shall include:
 - a. Final Grading Plans.
 - b. Irrigation Plans certified by a landscape architect.
 - c. Landscape Plans certified by a landscape architect.
 - d. Fence Treatment Plans
 - e. Special Treatment/Buffer Area Treatment Plans.
- 11) Common areas identified in the specific plan shall be owned and maintained as follows:
 - a. A permanent master maintenance organization shall be established for the specific plan area, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas. The organization will be private. Neighborhood associations shall be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
 - b. The master maintenance organization shall be established prior to or concurrent with recordation of the first land division, or issuance of any building permit for any approved development permit.
 - c. Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
 - d. The ownership and maintenance responsibility shall be specifically identified for each open space and/or recreational lot at the time implementing development applications, such as subdivisions, plot plans and/or use permits, are filed.
- 12) Designation and/or dedication of parkland and open space acreage, and/or payment of fees necessary to satisfy both County and State requirements, will be based on the neighborhood and community park acreage designated within the Jurupa Community Services District Master Plan of Parks.
- 13) Final development densities for each Planning Area shall be determined through the appropriate development application up to the maximum number of units identified by the Specific Plan for that Planning Area, based upon but not limited to, the following:

- a. Adequate availability of services;
 - b. Adequate access and circulation;
 - c. Sensitivity to landform;
 - d. Innovation in housing types and design;
 - e. Sensitivity to neighborhood design through lot and street layouts.
- 14) For the security and safety of future residents the applicant and/or developer shall incorporate the following design concepts within each individual development proposal:
- a. Circulation for pedestrians, vehicles, and police patrols.
 - b. Lighting of streets, walkways, and bikeways.
 - c. Visibility of doors and windows from the street and between buildings, where practical.
 - d. Fencing of appropriate heights and materials.
 - e. Addresses which light automatically at night.
 - f. Special lighting requirements on any buildings that are grouped in a way that individual addresses are difficult to read.
- 15) A land division filed for the purposes of phasing or financing shall not be considered an implementing development application, provided that, if the maintenance organization is a property owners' association, the legal documentation necessary to establish the association shall be recorded concurrently with the recordation of the final map.
- 16) Each planning area shall comply with applicable Riverside County recycling requirements.
- 17) The County may initiate an amendment or revocation proceeding on all or any portion of this Specific Plan if a development proposal has not been approved within five (5) years of the Board of Supervisors' adoption of the specific plan.
- 18) The gated community wall/fencing that encloses the entire residential specific plan shall be a solid 8.5' high along Schleisman Road and 9' high along Archibald Avenue and shall be a concrete block wall. The specific plan wall/fence along Schleisman Road and Archibald Avenue may be solid or a combination of wall and open wrought iron fencing. (See Figures V-26 to V-31 Overall Fence and Wall Plan, and Conceptual Wall Details)
- 19) Each planning area shall include development of adjacent common open space areas, landscape development zones and applicable infrastructure.
- 20) Construction of the Specific Plan, including recordation of final subdivision maps, may be done progressively in stages, provided vehicular access, public facilities and infrastructure is constructed to adequately service the dwelling units or as needed for public health and safety in each stage of development and further provided that each phase of development conforms substantially with the intent and purpose of the Specific Plan Phasing Requirements (Section V.A.6).