

4.3.3 Theme Walls and Fences

Theme walls and fences separate residences, delineate site areas, offer privacy, frame views, buffer uses, and provide security. Walls and fences should be used to reinforce Project themes, reflecting the form and materials used in the various monuments. Walls and fencing along streets and view corridors shall be consistent in style, material, and height, serving as a unifying element throughout the community. Vine planting on walls and view fences are encouraged to soften the view from streets into the neighborhoods. Refer to Sub-section 7, Themed Site Materials and Finishes and the Wall and Fence Master Plan (figure IV-25) for examples.

A. General Guidelines

- i. Long stretches of unrelieved walls and fences should be broken up with varied setbacks and recesses for plantings. Vine pockets at block walls are encouraged.
- ii. No fence should exceed six feet in height unless required for noise attenuation (e.g. along Scott and Garbani Roads).
- iii. When barriers are required for security, decorative open view fences should be incorporated.
- iv. All walls and fences should end in a pilaster. The design of the pilaster should reflect the shape of the supports used in the entry monuments and use similar natural materials (e.g., rock, stone, or brick) in a different configuration.
- v. All community and perimeter fencing is to be provided by the individual

guest builders at the time of development.

vi. When practical, the use of larger and layered plant material and landscape berming should be used as a barrier in lieu of wall and fence structures.

vii. When changes in pad elevation occur, the wall or fence should be stepped in equal vertical intervals. No step should exceed twelve inches (12") in height.

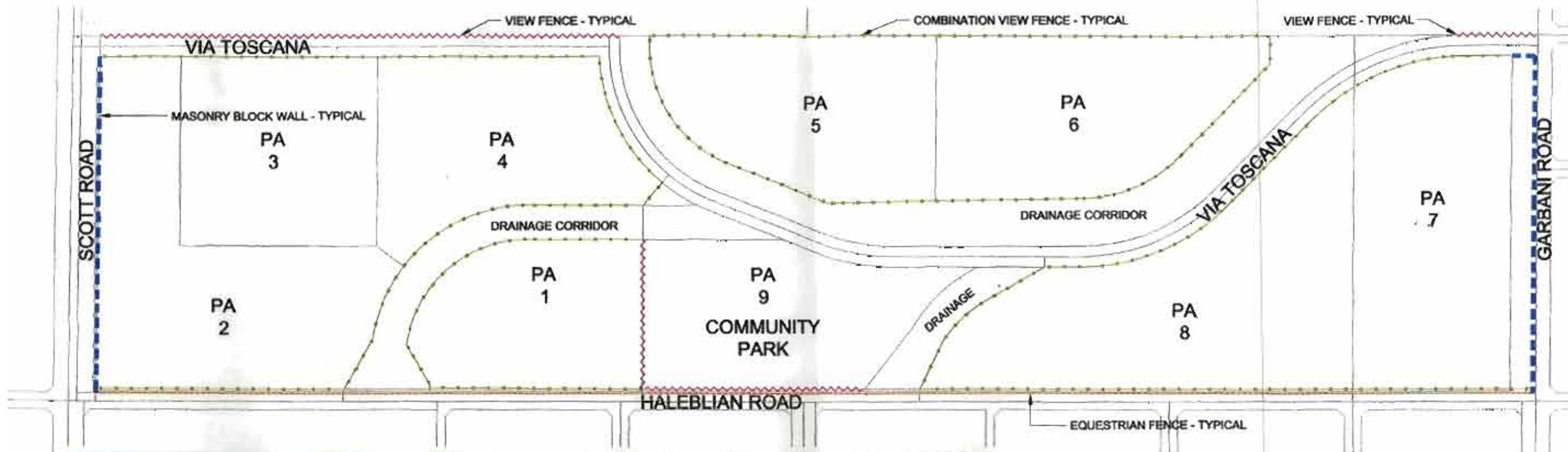
viii. Residential development edges visible from Scott Road, Garbani Road and Via Toscana should be treated with solid walls screened with landscaping. With the exception of tennis courts, chain link fencing is to be avoided within any of the community recreation facilities, residential subdivisions, or school playgrounds.

ix. All wall and fence plans and materials must conform to Riverside County and Valley-Wide Park and Recreation District guidelines. Written approval from each agency is required and must be submitted to the master developer prior to installation.

B. Solid Walls and Fences

Walls and Fences provide community identity, security, privacy and sound buffering for residential units adjacent to streets or neighboring land uses. Solid walls are required along residential side yards and may be required for privacy and sound attenuation along Garbani Road, Scott Road and Via Toscana. Solid walls will also be used to screen mechanical equipment, parking lots, and other support facilities, as required.

Wall finishes may include stucco, masonry, stone, rock, or wood. Pilasters should incorporate the use of special accent materials such as rock and natural stone.



TUBULAR STEEL FENCING AND / OR COMBINATION BLOCK WALL AND TUBULAR STEEL COMBINATION VIEW FENCE.







MASONRY BLOCK WALL



EQUESTRIAN TRAIL FENCE

GRAPHIC LEGEND

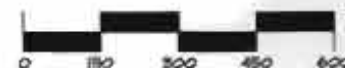
-  COMBINATION BLOCK WALL AND TUBULAR STEEL VIEW FENCE.
-  VIEW FENCE
-  MASONRY BLOCK WALL
-  EQUESTRIAN TRAIL FENCE

NOTES:

1. EQUESTRIAN TRAIL FENCE ALONG HALEBLIAN ROAD IS INTERRUPTED WITH ENTRANCES AND OPENINGS FOR PEDESTRIAN AND VEHICULAR TRAIL ACCESS.
2. VIA TOSCANA MAY HAVE A BLOCK WALL AT REAR FACING YARDS AS APPROPRIATE FOR ARCHITECTURAL DESIGN AND DESIRED PRIVACY.



NORTH



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&
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Pilasters, landscape plantings, and vines shall interrupt the horizontal mass of the walls.

Walls built to screen ancillary structures adjacent to buildings, such as trash enclosures and transformers, should be constructed with materials consistent with the main buildings and other walls.

C. View Fences

View fences will be incorporated to allow views into open space/recreation areas, and other areas that do not require sound protection. View fences should also be used to increase a sense of openness in rear yards adjacent to open spaces, the Paseo system, and the recreational amenities within residential subdivisions (where privacy is not compromised). The eastern perimeter view fence (i.e. along the Haleblian Road) shall be constructed of a combination block wall/view fence. The lower block portion of the fence provides additional security to residences, a solid substrate for landscape planting and an aesthetically pleasing fencing foundation. The upper view fence portion will provide view opportunities for residences onto the pedestrian and equestrian trails. It also creates an inviting, barrier-free sightline for the rural residences across Haleblian Road. Along the Haleblian edge, in particular, the view fence should be heavily screened to provide adequate privacy from pedestrians and horseback riders.

View fence panels should be interrupted by pilasters of stone, rock, masonry, or stucco with decorative post and finial of similar metallic finish and material as the view fence.

The base of the view fence may be constructed of block as high as 36 inches,

covered with stone or rock, with wrought iron above. Spikes, spires, caps, or other decorative detailing consistent with the community theme may be used. Please refer to Themed Site Materials and Finishes, contained in Sub-section 7 of these guidelines.

D. Theme Fencing

The thematic walls and fences for Cantalena consist primarily of the perimeter theme walls adjacent to Scott Road and Garbani Road, and Via Toscana. Thematic fences will consist mainly of tubular steel and be located along the westerly edge of the community park site, school site, and the Project perimeter. The interior fences and walls within the community will consist of masonry walls, tubular steel, and combination masonry block and tubular steel (where appropriate without compromising privacy). Solid wood or combination wood and other materials should be avoided. The fences and walls used on this project will be designed to enhance the overall theme of the community and to tie the landscape elements together through the use of common materials.

Perimeter walls are intended to be used along Scott Road, Garbani Road, and Haleblian Road, as well as along portions of Via Toscana to screen private rear yards. They shall be six feet (6') high, except in those cases where sound attenuation requires more height. These walls will be constructed of split face block with matching slumpstone cap.

Tubular Steel Fencing shall be used along the southern edge of the community park site where it abuts Planning Area 7. This fence will be a minimum of five feet (5') high and have a powder coated finish. Please refer to the Community Park

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&
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exhibit (Figure IV-40).

The interior fences and walls for the individual planning areas may vary according to architectural style of each area, but must incorporate the following guidelines from the County-Wide Design Standards & Guidelines:

- Front Yard return walls shall be constructed of masonry block, and shall be a minimum of five feet in height.
- Side yard gates are required on one side of the front yard, and shall be constructed of wrought iron, wood, or tubular steel. Side and rear yard fencing shall be masonry, slump stone or other material of similar appearance, maintenance, and structural durability. Chain link fencing is not permitted. All construction must be of good quality and sufficient and sufficient durability with an approved stain and/or sealant to minimize water staining (Applicants shall provide specifications which shall be approved by the Planning Department).
- All new residents shall include rear and side yard fencing constructed of masonry block, which is a minimum of five feet in height. The maximum height of walls or fencing shall be six feet in height.
- All lots having rear or side yards facing local streets or otherwise open to public view shall have fences or walls constructed of decorative block, tubular steel, or other attractive and durable material.
- Corner lots shall be constructed with wrap-around decorative block wall returns.
- Side yard gates are required on one side of the home and shall be constructed of powder-coated wrought iron or tubular steel.
- Wrought iron or tubular steel fence sections may be included within tracts where view opportunities and/or terrain warrant its use. Where privacy of views is not an issue, tubular steel or wrought iron sections should be constructed in perimeter walls in order to take advantage of casual view opportunities.
- Wood fencing where permitted shall be constructed with galvanized steel posts set in concrete to a minimum depth of 24 inches with domed caps. Wood fencing or other like-material walls are not permitted along reverse frontage areas.
- Community perimeter wall, theme walls, and walls adjacent to or within the paseos shall be solid walls located where view opportunities are not available. Plain concrete block walls are not permitted along reverse frontage areas. Brick, slump stone, tile, textured concrete, stucco on masonry or steel framing or other material walls which require little or no maintenance are required. Use of ivy or other self clinging type vines to soften and punctuate the appearance of walls and reduce the likelihood of graffiti is strongly encouraged. The use of capping in conjunction with other vertical design elements to temper the top line of the wall is also encouraged.