

IV. Specific Plan

4.1 Project-Wide Planning Standards

The following section of the Specific Plan details the land uses and development standards for the entire Cantalena Project. Illustrations are provided to portray the master plan, infrastructure plans and the elements of community structure. The visual images and themes addressed in this section establish the overall character of the Project.

The following are the basic goals of the Cantalena Specific Plan:

1. To provide standards and guidelines for development while encouraging creativity and establishing a special "sense of place" which sets the Project apart from typical developments and patterns of suburbanization.
2. To create a planned residential community which will meet the standards of open space, circulation, intensity of use, and community character.
3. To create a portion of the residential base of the Sun City/Menifee Valley Community Center concept as described in the Riverside County Integrated Project.
4. To create a pedestrian friendly community with easy access to public Project amenities for surrounding residents as well as those living within the Project.
5. To create a residential base for future nearby employment centers along major transportation corridors.

4.1.1 Comprehensive Land Use Plan

The Land Use Plan identifies the location and intended uses within the Specific Plan area, shown in figure IV- 1. The land use concept sets forth the recommended land use densities and other characteristics.

One of the concepts of the RCIP Vision and Central Planning Principles is the creation of community centers as stated in the RCIP Vision:

" Our communities maintain their individual distinctive qualities and character, surrounded in most cases by open space or non-intensive uses to contribute to their sense of unique identity. Community Centers, gathering places and special focal points unique to each community also add to this identity."

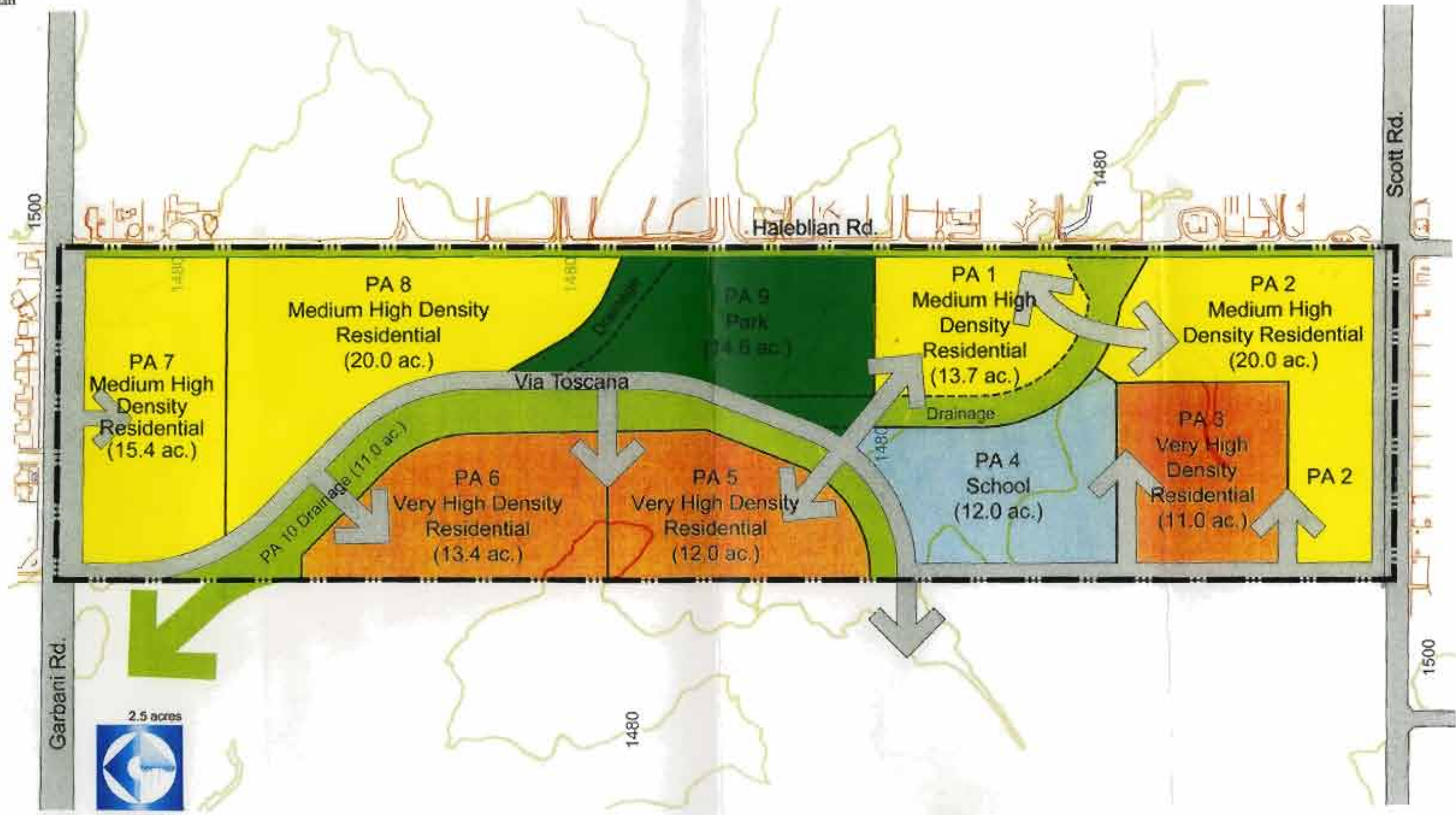
The Cantalena Specific Plan supports the vision presented in the RCIP by providing the residential core of the Community Center as well as public use facilities such as an active/passive community park and a potential school site. The Project will contain a variety of uses and be designed to encourage pedestrian activity by incorporating easy to navigate trails and paseos throughout the Project.

The residential areas within the plan contain densities ranging from 4.6 units per acre to 18 units per acre creating up to 935 dwelling units. The central area of the Project provides a large community park/recreation area within walking/biking distance to all Project residents, as well as recreational opportunities for the surrounding community.

Cantalena

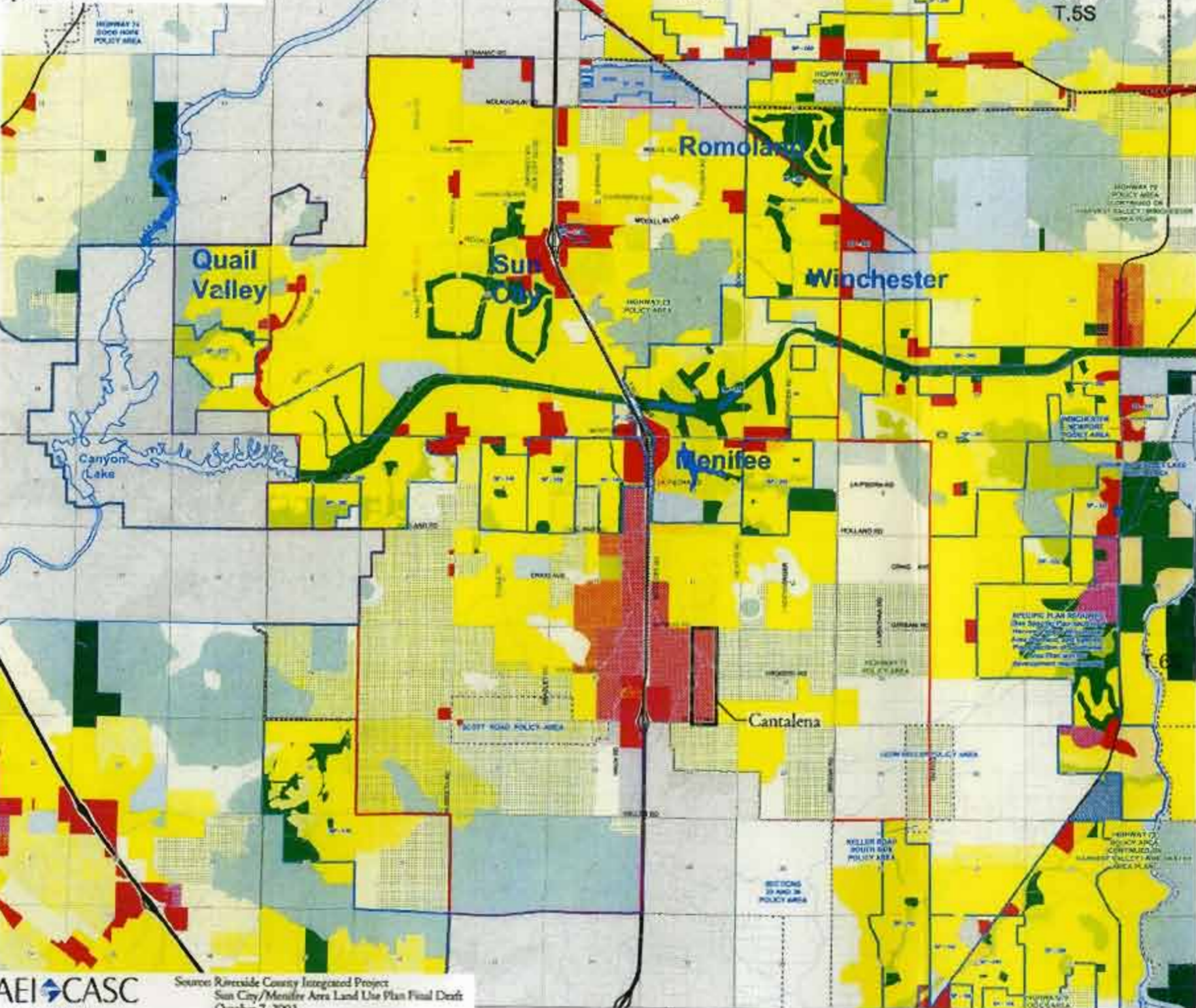
Specific Plan

Land Use Plan
Figure IV-1



Cantalena

Specific Plan



Riverside County
Integrated Project Map
(Sun City/Menifee Valley)
Figure IV-2

- COMMUNITY DEVELOPMENT**
- Estate Density Residential (2acre minimum lot size)
 - Very Low Density Residential (1acre minimum lot size)
 - Low Density Residential (One-half acre minimum lot size)
 - Medium Density Residential (2-5 D.U./acre)
 - Medium High Density Residential (5-8 D.U./acre)
 - High Density Residential (8-14 D.U./acre)
 - Very High Density Residential (14-20 D.U./acre)
 - Highest Density Residential (20+ D.U./acre)
 - Commercial Retail
 - Commercial Tourist
 - Commercial Office
 - Community Center
 - Light Industrial
 - Heavy Industrial
 - Business Park
 - Public Facilities
 - Mixed Use Planning Area
- OPEN SPACE**
- Conservation
 - Conservation -Habitat
 - Open Space -Recreation
 - Open Space -Rural
 - Open Space -Water
 - Open Space -Mineral Resources
- RURAL**
- Rural Residential (5 acre minimum lot size)
 - Rural Mountainous (10 acre minimum lot size)
 - Rural Desert (10 acre minimum lot size)
- RURAL COMMUNITY**
- Estate Density Residential (2 acre minimum lot size)
 - Very Low Density Residential (1 acre minimum lot size)
 - Low Density Residential (One-half acre minimum lot size)
- AGRICULTURE**
- Agriculture
- OVERLAYS**
- Business Park
 - Commercial Retail
 - Rural Village and Rural Village Study Area
 - Community Center
 - Community Development
- OVERLAYS**
- ▲ MWD Facilities
 - ▲ Watercourse
 - ▲ Supervisional District Boundary
 - ▲ Cities
 - ▲ Areas Subject to Indian Jurisdiction
 - ▲ Area Plan Boundaries
 - ▲ Sections
 - ▲ Township/Range
- Definitions:**
D.U. - Dwelling Units

*Specific Plan
No. 334
&
EIR No. 463*

4.1.1.2 Residential

Approximately 70% of the Land Use Plan, or about 110-acres is devoted to residential uses. Four general residential uses are proposed:

Medium High Density Residential

- Detached dwelling units
- 5-8 Du/Ac

High Density Residential

- Courtyard homes
- 8-14 Du/Ac

Very-High Density Residential

- Single family attached
- 14-20 Du/Ac

Recreational opportunities such as pocket parks and community pools are encouraged within the more detailed site plans for each individual planning area, and will be included in the residential land use designation. It should be noted that residential land use designations can be developed with a variety of zoning classifications which permit clustering of residences within planning areas. Under the Specific Plan, one or more product types may be developed within a planning area, provided that the development is consistent with the Project's site planning and design guidelines.

The zoning classifications each have a unique set of development standards designed to accommodate a variety of housing products and types. The different zoning classifications are intended to:

1. Provide an array of housing opportunities
2. Buffer surrounding residential uses
3. Retain open space resources;
4. Provide flexibility to develop natural

drainage where appropriate

Density Transfer

In order to allow for density flexibility and residential diversity, the transfer of dwelling units from one Planning Area to another within the Specific Plan may be approved as part of this Specific Plan approval process or the Tentative Map approval process. An increase in dwelling units in one Planning Area must always be accompanied by a corresponding decrease in dwellings within another Planning Area. Table IV-1 shows the proposed density ranges allowed for each Planning Area. A corresponding unit range for each planning area is also shown in the table. Transfers between planning areas shall be allowed provided that the density and unit range for any planning area are not exceeded.

Should such a transfer be approved, applicable statistics and figures shall be revised, and approved in an administrative manner by the Planning Director.

4.1.2.2 Open Space / Recreation

Recreation facilities are key elements of the Cantalena Specific Plan. The intent of the Open Space/Recreation concept is to provide attractive active and passive areas for future residents and visitors.

Development Guidelines for the parks/recreation areas are discussed in more detail in the Design Guidelines portion of the Specific Plan (Section IV.2).

More than twenty acres (20 ac) of the Project area is devoted to drainage, trails and recreation areas, excluding several acres of enhanced parkways. The recreation component of the plan is comprised of a large community park and several acres of pedestrian and multipurpose trails.

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Density Transfer Table IV-1

P.A.	LAND USE	ACRES	RCIP DENSITY RANGE		PLANNED	TRANSFER	
					UNITS	RANGE	
1	Medium High Density	13.7	5.00	8.00	47	47	76
2	Medium High Density	16.9	5.00	8.00	83	83	135
3	Very High Density	11.0	14.00	20.00	196	154	220
4	Elementary School	12.0	-	-	-	-	-
5	Very High Density	12.0	14.00	20.00	216	170	240
6	Very High Density	13.4	14.00	20.00	228	190	260
7	Medium High Density	15.4	5.00	8.00	70	70	123
8	Medium High Density	20.0	5.00	8.00	95	95	160
9	Park	14.6			-		
10	Drainage	11.0			-		
-	Streets/ROW	18.6			-		
		158.7	-	-	935	-	-

Notes:

- (1) Planning Area 4 is reserved for an elementary school. In the event MUSD does not purchase the site, it may be converted into a maximum of 144 units of High Density Residential. As residential, the permissible transfer range shall be 96-168 units.
- (2) Notwithstanding any transfers, total units within SP334 may not exceed 935, subject to note (1) above.

January 2006

BLUESTONE
COMMUNITIES

Planning Standards IV-1-5