

## f) Community Walls and Fences

Community walls and fences are a major visual element that helps to unify the visual appearance of the community. The wall and fence plan for THE RESORT is shown in *Figure IV-85, Community Fence and Wall Plan*. Community walls and fences have been designed to reflect the overall Mediterranean theme. These walls and fences are designed to provide a durable, long term edge enclosure defining “private” and “public” spaces while keeping on-going maintenance to a minimum.

### (1) Solid Masonry Theme Wall

Solid masonry walls, as shown in *Figure IV-86, Community Theme Wall – Split Face Block*, will be provided as a perimeter wall to the community adjacent to residential areas. The solid theme wall used in THE RESORT will be a split face or precision block masonry unit. Pilasters will be placed at wall terminus points and as determined to be necessary for visual benefit. The community theme walls will have a grid made of wire supports onto which vines can be attached and trained in order to provide an aesthetic visual element to the streetscape as well as to deter graffiti vandals. These ‘vine grids’ will be spaced as may be determined necessary for visual benefit.

### (2) Tubular Steel Fence

Tubular steel fencing, as shown in *Figure IV-87, Tubular Steel Fence* will be used in those locations where maximum view retention from roads or other publicly accessible land uses occur, or where restricted access is necessary. Tubular steel fencing may also be used where an attractive open enclosure is necessary such as where a park site interfaces with busy roadways, around swimming pool complexes where a view fence material may be desirable, or where an open landscape buffer will not be sufficient to prevent pedestrian traffic from cutting through the landscape and a more permanent barrier is needed. Where feasible, the tubular steel fence will be interspersed with thematic split face block masonry pilasters.

### (3) Tubular Steel Fence on Low Solid Masonry Wall

This combination enclosure of a tubular steel fence mounted on a low solid masonry theme wall, as shown in *Figure IV-88, Tubular Steel Fence On Low Wall*, occurs where partial privacy is necessary, but some view opportunity is permitted such as in the recreational swim complexes. Pilasters shall occur at areas such as the intersections of rear and side property lines or at changes of direction of the pool fence as needed to enclose the swim complex, and shall be constructed of split face masonry block. The solid masonry portion of the wall may vary in size from 12’-0” high to 4’-0” high and will be constructed of a split face masonry block.

#### (4) Interstate 15 Sound Wall

Due to THE RESORT SPECIFIC PLAN's proximity to Interstate 15, a sound wall will be constructed up to 3 feet behind the project's eastern property line, as shown on *Figure IV-85, Community Fence and Wall Plan*. The precise height of the sound wall, up to a maximum Caltrans-permitted height of 16 feet, will be determined by a qualified acoustical sound engineer. (See *Figure IV-53, Interstate 15 Street Section* and *Figure IV-54, Interstate 15 Plan View*.)

To create interest and visual relief, the sound wall shall have 5-foot to 8-foot deep staggered off-sets at specific intervals and lengths to create alcoves. These "off-set" alcoves will also provide additional planter space between the right-of-way and the wall allowing for more trees to be planted.

For the remaining wall sections constructed from 0 to 3 feet behind the edge of the I-15 right-of-way, decorative "wall art" shall be incorporated into the structure itself. These pre-cast art panels shall be oriented so they provide interest and help tell a story. Both wall off-sets and the artwork shall be sized appropriately for the design speed of the adjacent freeway and on-ramp. (See *Figure IV-89, Interstate 15 Sound Wall Elevation* and *Figure IV-90, Interstate 15 Sound Wall Isometric View*.)

#### (5) Chain Link Fencing

The use of chain link fencing shall be discouraged; however, chain link may be permissible at the school area interface. A dark vinyl clad mesh shall be required. (See *Figure IV-91, Chain link Fence*.)

#### (6) Interior Neighborhood Streetscape Walls

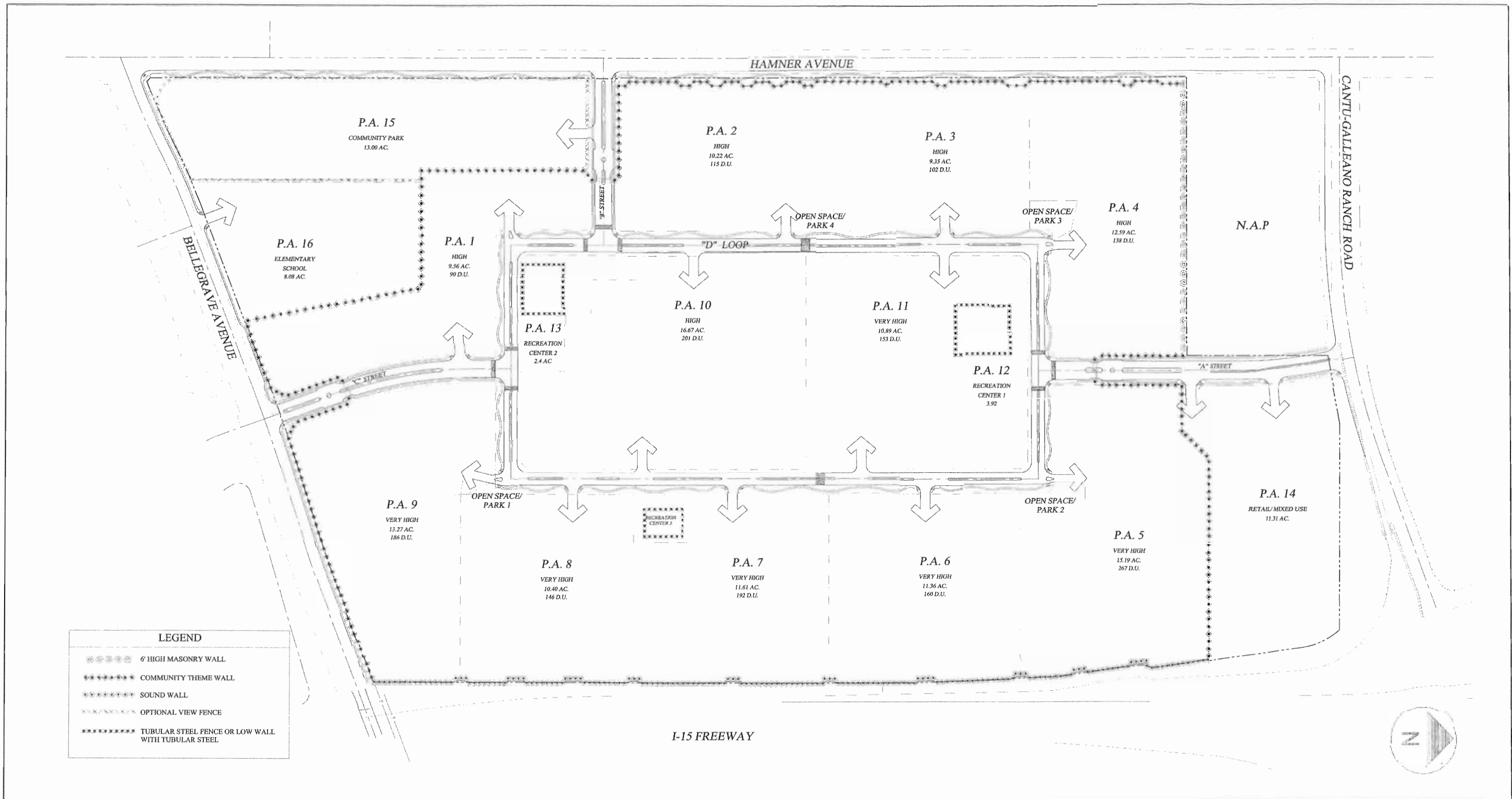
Walls that can be seen from an interior neighborhood street shall be constructed of solid masonry. This will include the cut-off walls adjoining residential units. A solid masonry wall shall be utilized at all residential corner lot side yards which abut or are viewed from public streets. Vines shall be planted to grow onto these walls to soften their visual impact on the rest of the neighborhood.

These masonry walls are to be a maximum of 6'-0" high and are to complement the architectural style of the Planning Area in which they are located. The walls may be constructed of precision block or split face block. Pilasters are to be located at perimeter property lines and at changes of direction. They are to be constructed of a material that will match the masonry wall, or veneered with either manufactured stone or brick to match the architectural style of the Planning Area. (See *Figure IV-86, Community Theme Wall – Split Face Block*.)

(7) Materials and Colors

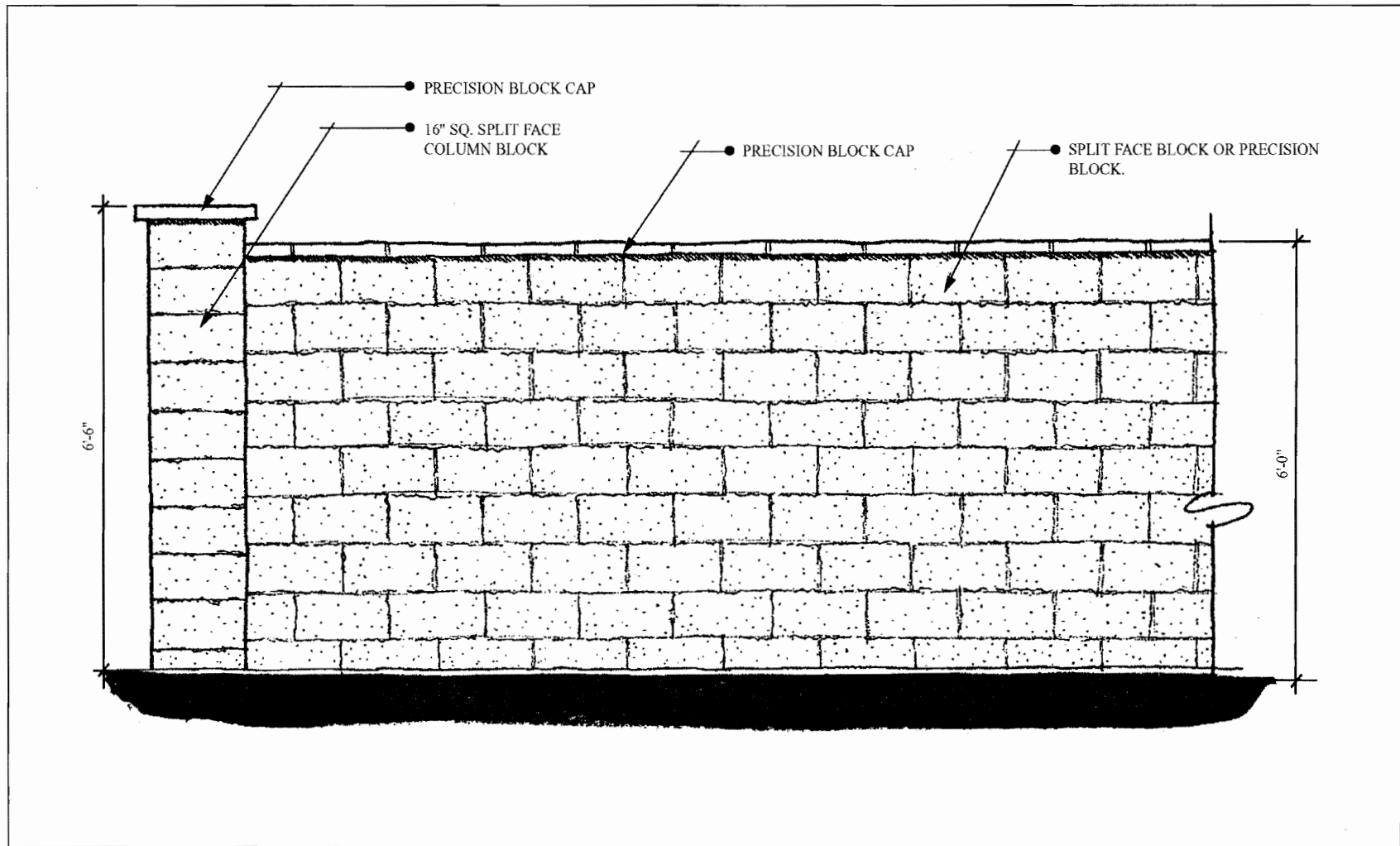
All walls and fences within the private residential lots shall be designed and constructed as part of the overall architectural design and site design. All materials shall be durable and finished in textures and colors complementary to the overall architectural design.

Permitted wall materials: stone veneer, stucco (including stucco covered block), masonry, brick, slump block, and block and wrought iron combination are acceptable.

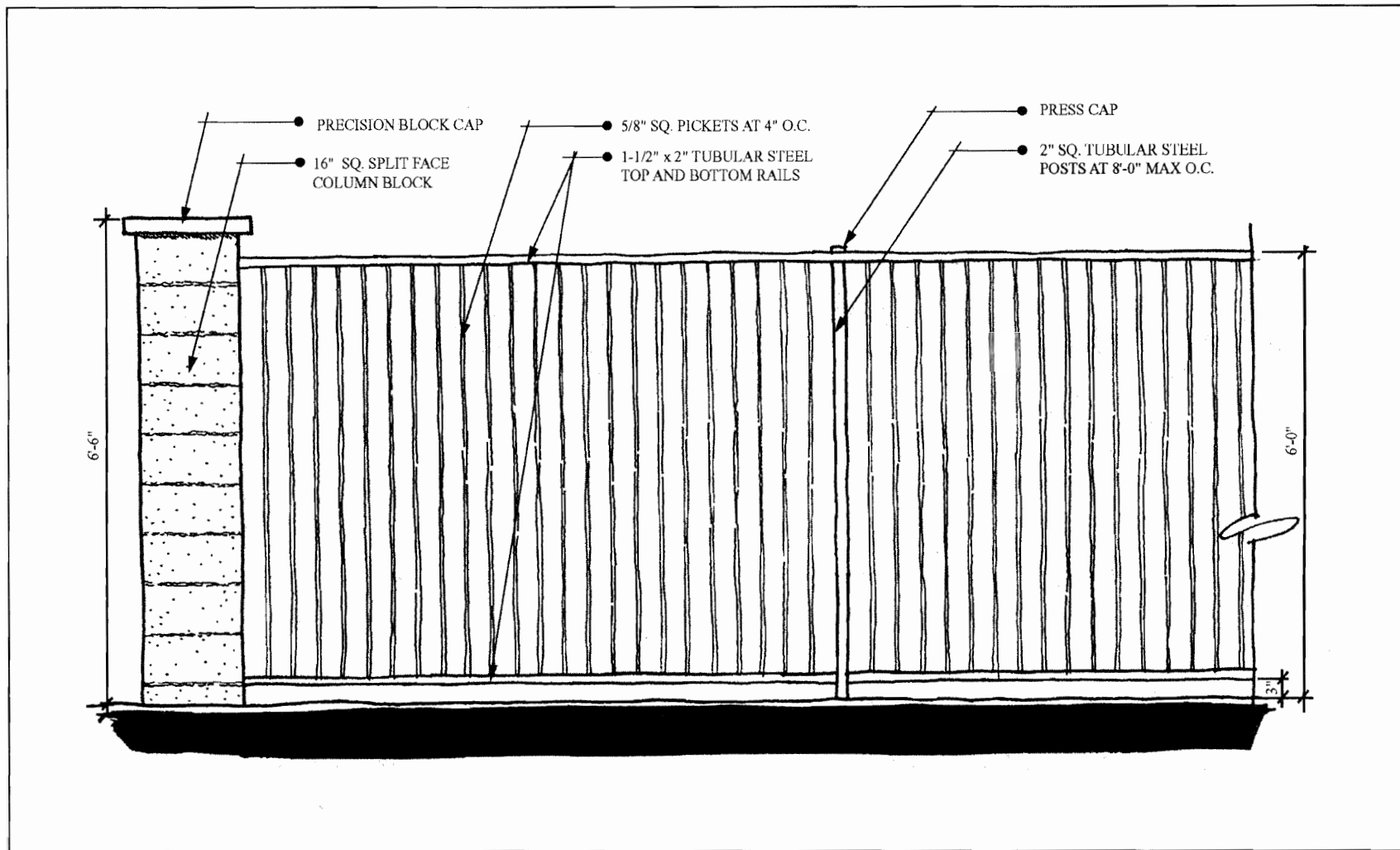


**Figure IV-85**  
**Community Fence and Wall Plan**  
*The Resort Specific Plan*

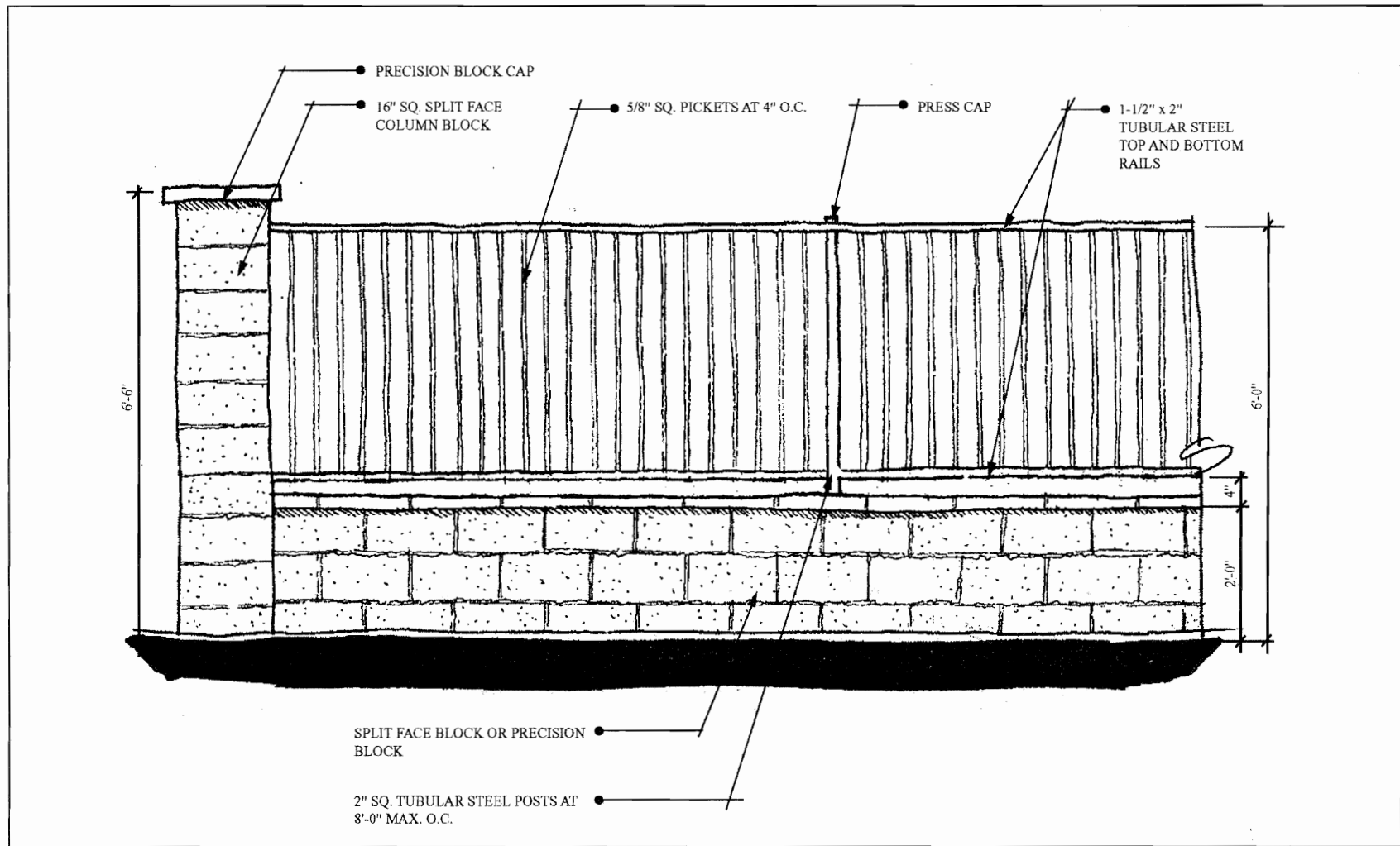




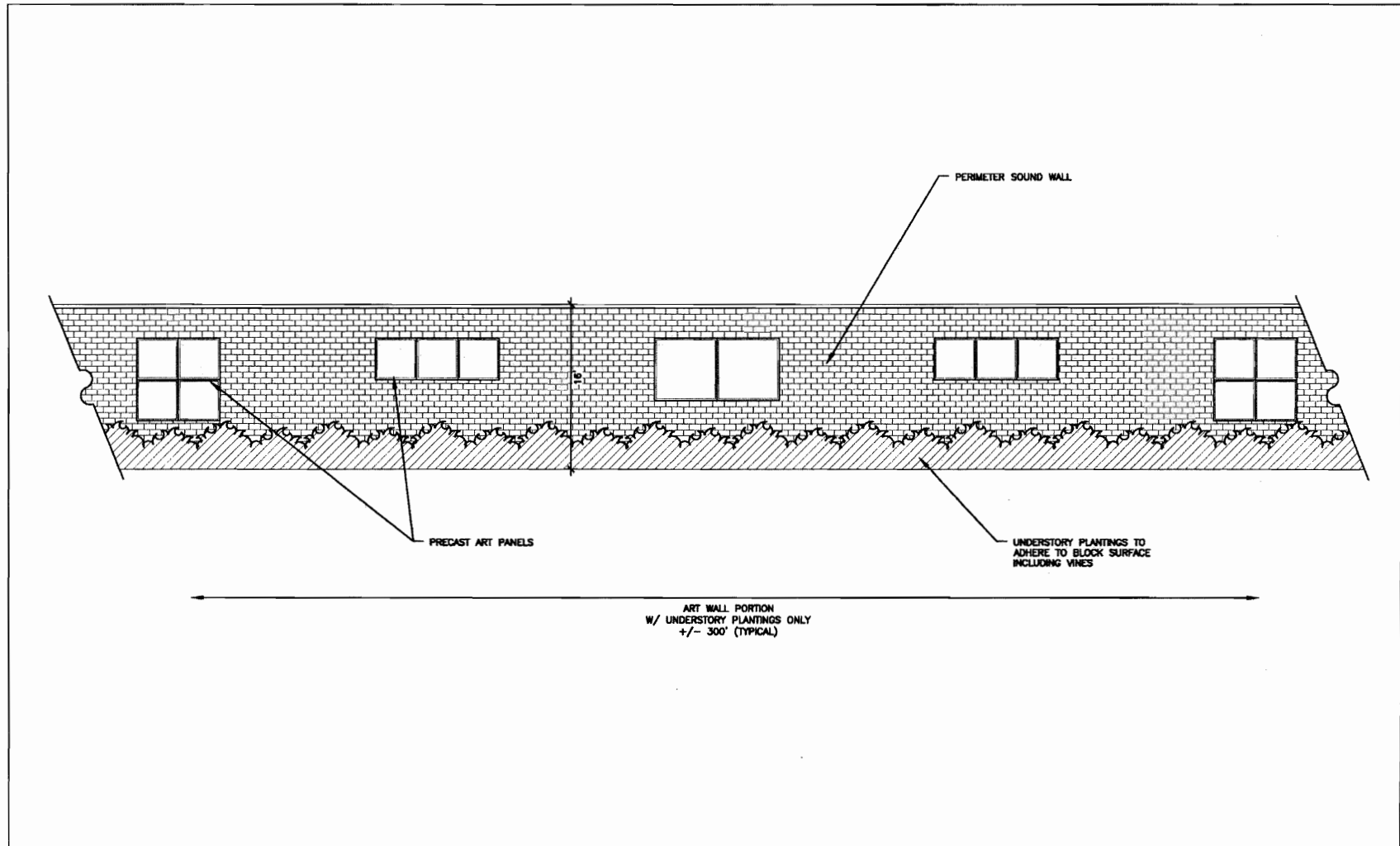
**Figure IV-86**  
**Community Theme Wall – Split Face Block**  
*The Resort Specific Plan*



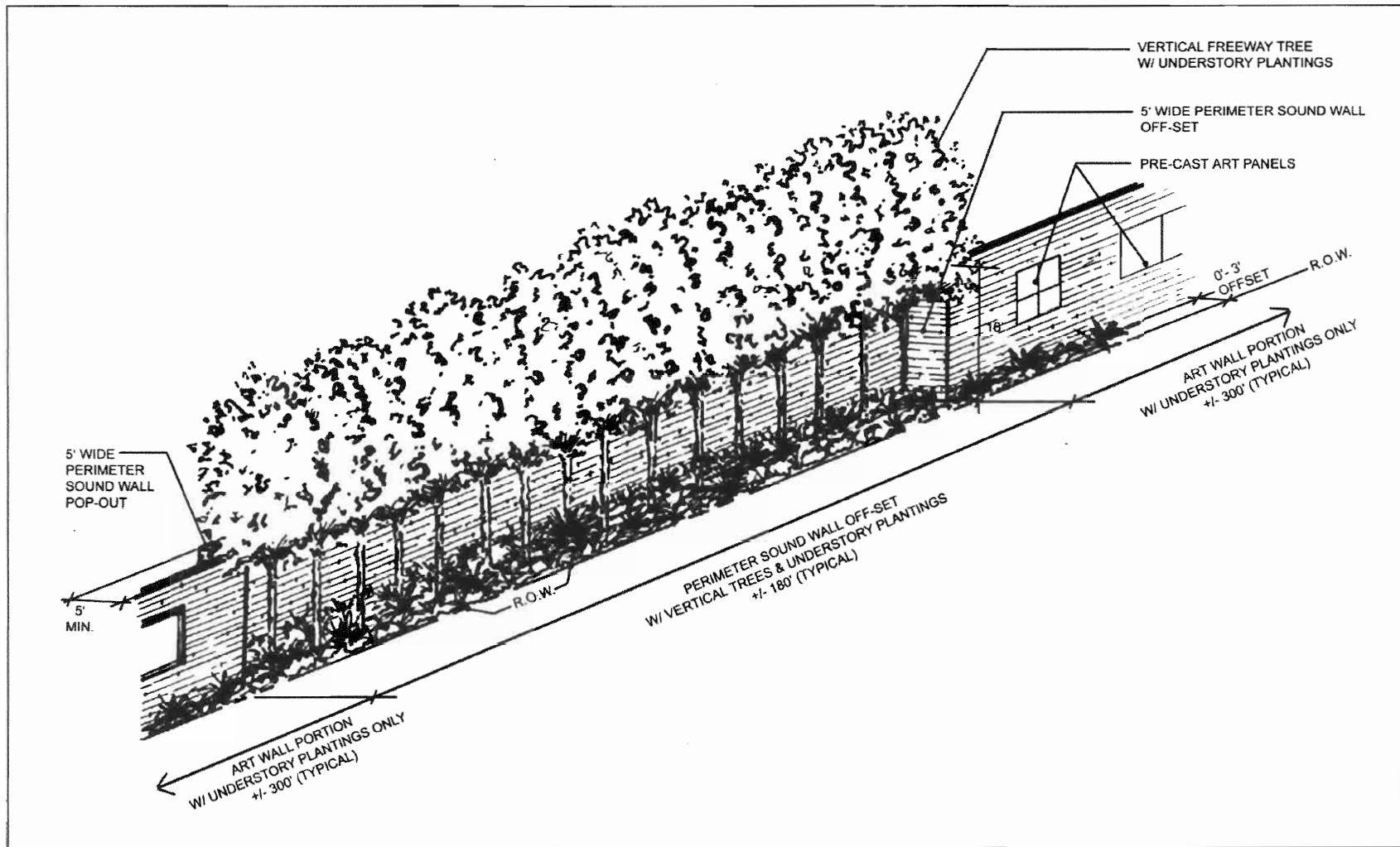
**Figure IV-87**  
**Tubular Steel Fence**  
*The Resort Specific Plan*



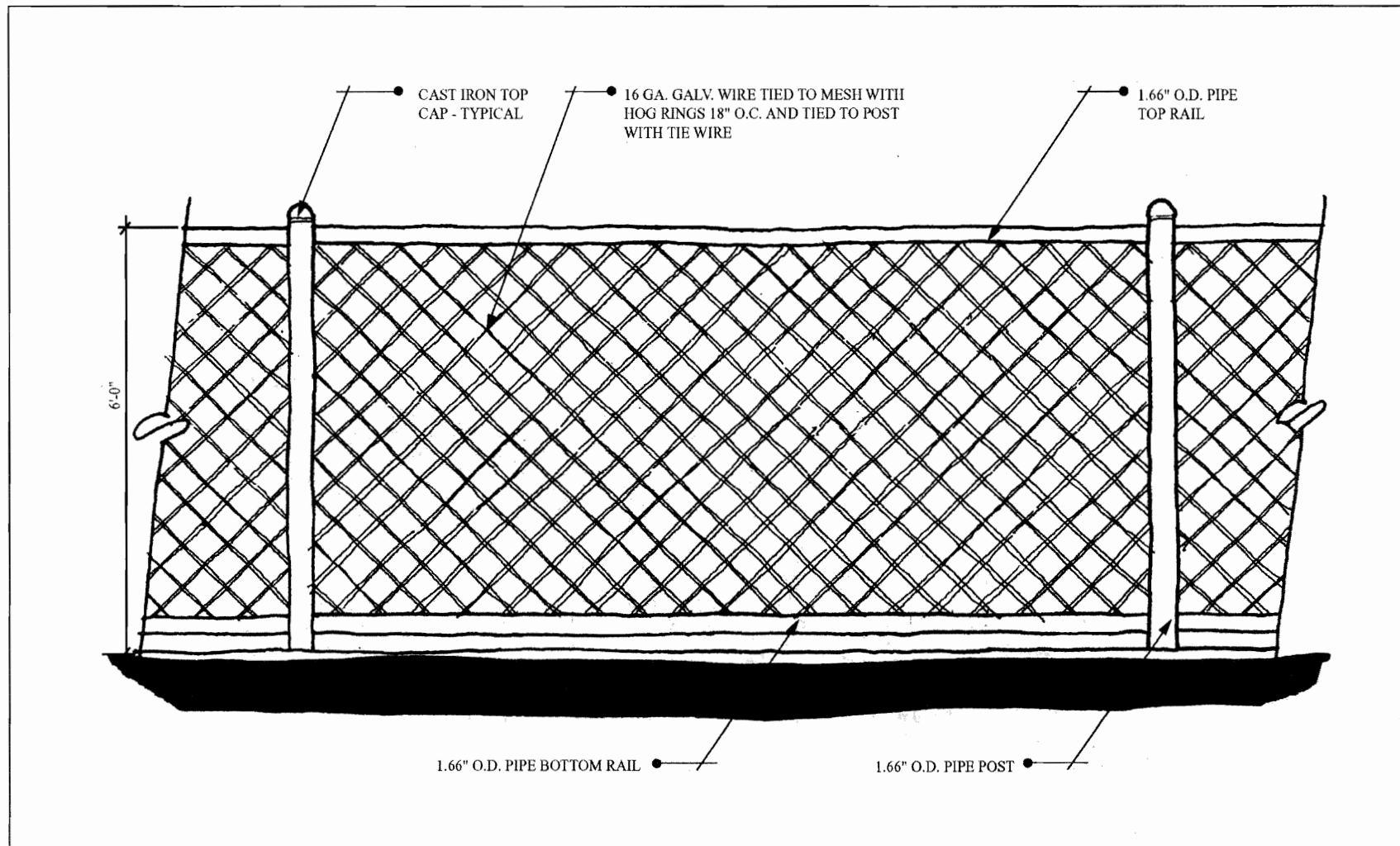
**Figure IV-88**  
**Tubular Steel Fence on Low Wall**  
*The Resort Specific Plan*



**Figure IV-89**  
**Interstate 15 Sound Wall Elevation**  
*The Resort Specific Plan*



**Figure IV-90**  
**Interstate 15 Sound Wall Isometric View**  
*The Resort Specific Plan*



**Figure IV-91**  
**Chain Link Fence**  
*The Resort Specific Plan*