



8.0 DEVELOPMENT STANDARDS

8.1 Development Guidelines

The following residential planning standards will be incorporated into the Oak Springs Ranch Specific Plan to establish development criteria that will result in a quality development with sensitivity and preservation of the natural environment.

Specific development guidelines for Planning Areas 1 and 2 are intended to assure compatibility and continuity within the specific plan as well as other developments in the area. A combination of the following guidelines should be incorporated to ensure Oak Springs Ranch is a quality community that provides a variety of housing types, preserves the natural environmental features, and is a pedestrian-oriented community that integrates into the County of Riverside:

- A. Design a community that considers the topographic, geologic, and hydrologic opportunities and constraints of the land.
- B. Develop a community that reflects anticipated market needs and public demand by providing a range of housing types, which will be marketable within the developing economic profile of the County of Riverside.
- C. Provide planning provisions for a safe and efficient circulation system composed of a network of planned local roadways designed for appropriate traffic and user needs.
- D. Create a high standard in neighborhood design and implement it consistently over an entire new-community creating an identifiable and unique place.
- E. Create neighborhood designs that integrate architecture, site planning, and landscape.
- F. Incorporate a variety of recreational and open space areas. The recreation areas should offer a variety of active and passive uses. The open space areas should also provide a variety of amenities, from man-made landscape features to the existing riparian habitat and native planting on-site.
- G. Protect natural features and views of the environmentally sensitive areas of the site.
- H. Create interfaces by connecting contrasting boundaries between distinctly different characteristics of existing neighborhoods.
- I. Create a distinct sense of neighborhood and place by designing attractive and comfortable street scenes and street spaces.



- J. Plan and design streets that are visually integrated into the landscape by giving consideration to the topography and natural features of the site.
- K. Design communities that incorporate neighborhood parks, trails and open spaces.
- L. Provide 360-degree architecture on all building facades, with a higher emphasis on facades visible from streets or open spaces.
- M. Incorporate connectivity through pedestrian trails, paths or sidewalks throughout the site and the adjacent community.
- N. Design neighborhoods that integrate into the regional alternate transportation system including bus and bicycle systems.

8.2 Planning Areas 1 and 2 Permitted Uses

The following uses are allowed, provided a plot plan has been approved by the County of Riverside:

- One-family dwelling
- Attached single-family residences
- Alley-loaded units
- Condominiums
- Multifamily dwellings, bungalow courts and apartments (PA 1 only)
- Planned residential developments, provided a land division is approved by the County of Riverside
- Accessory buildings to a specific permitted use, provided that the accessory building is established as an ancillary use and does not change the character of that use
- Home occupations
- Public parks and playgrounds, golf courses with standard-length fairways, and country clubs
- Temporary real estate tract offices located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two years
- Congregate care residential facilities

The Planning Director has the authority to make an administrative determination on any uses that are not specifically listed above.

8.3 Planning Areas 3 Permitted Uses

The following uses are allowed:

- Open space
- Trails



8.4 Multifamily, Apartments, and Attached Single-Family Residential Development Standards (Planning Area 1)

8.4.1 Residential Development Standards

Minimum Floor Area

- One-bedroom unit: 750 sq. ft.
- Two-bedroom unit: 900 sq. ft.
- Three-bedroom unit: 1,150 sq. ft.

Minimum Private Open Space (Patios, etc.)

- First Floor: 80 sq. ft. per unit
- Second and third floors: 40 sq. ft. per unit

Lot Coverage:

- Maximum lot coverage: 50 percent

Lot Dimensions

- Minimum lot size: 7,200 sq. ft.
- Minimum lot width: 60 ft.
- Minimum lot depth: 100 ft.

Building Setbacks

- Front yard facing a public street: 20 ft. minimum to right-of-way
- Front yard facing a private street: 12 ft. minimum to curb face (parking may encroach)
- Side or rear yard facing a public street: 15 ft. minimum to right-of-way
- Side or rear yard facing a private street or driveway: 5 ft. minimum to curb face
- Side or rear yard facing an autocourt: 0 ft.
- Architectural features such as fireplaces or bay windows may encroach up to three feet into a setback.

Minimum Building Separation

- One Story: 10 ft.
- Two Story: 15 ft.
- Three Story: 20 ft.



Maximum Structure Height

- Maximum Structure Height: 50 ft.

8.4.2 Parking Standards

Parking requirements shall be pursuant to Section 18.12 (Off Street Vehicle Parking) of the Land Use Ordinance of Riverside County (Ordinance 348) unless otherwise stipulated in the Development Standards.

Multifamily

- One-bedroom unit or studio: 1.25 spaces/unit
- Two-bedroom unit: 2.25 spaces/unit
- Three-bedroom unit: 2.75 spaces/unit
- Employee parking: 1 space/employee

Parking must be located on-site and conveniently distributed throughout the project. For multiple-family residences, condominiums, planned residential developments, and senior-citizen planned residential developments, at least one of the required parking spaces per unit shall be located in a garage or carport, which is architecturally harmonious with the main structure.

8.5 Detached Single-Family Residential Development Standards (Planning Area 2)

Floor Area Ratio

- Target Floor Area Ratio: 0.50
- Maximum Floor Area Ratio: 0.75

Lot Coverage:

- Maximum lot coverage: 50 percent

Lot Dimensions (see Figure 8-1, *Typical 30' x 91' Plot*)

- Minimum Lot Size: 2,730 sq. ft.
- Minimum Lot Width: 30 ft.
- Minimum Lot Depth: 91 ft.



Building Setbacks

- Front yard facing a street*: 15 ft. minimum to curb face
- Front yard facing a paseo*: 15 ft. minimum to centerline of paseo
- Side yard*: 4 ft. minimum to property line
- Rear yard: 3 ft. minimum to curb face
- Architectural features such as fireplaces, bay windows, covered entries, patios or porches may encroach up to three feet into a setback.

Minimum Building Separation

- Side to side: 8 ft.
- Alley (garage door face to garage door face)*: 30 ft.
- Alley (landscape area to landscape area)*: 24 ft.
- Paseos (building to building across paseo area)*:
 - Minimum 30 ft.
 - Minimum 24 ft. between encroachments (patios, porches and covered entries)

Alley Standard

- Minimum alley landscaping (alley-loaded lots)*: 20 sq. ft.

Private Open Space (Patios, etc.)

- Minimum outdoor patio area: 12 feet x 14 feet or 168 sq. ft. (see Figure 8-1, *Typical 30' x 91' Plot*)

Structure Height

- Maximum structure height: 35 ft.

* A detailed explanation of these development standards is provided below.

8.5.1 Parking Standards

Parking requirements shall be pursuant to Section 18.12 (Off Street Vehicle Parking) of the Land Use Ordinance of Riverside County (Ordinance 348) unless otherwise stipulated in the Development Standards.

Single-family

- Two spaces/unit
- Guest parking: 0.5 space/unit



Parking must be located on-site and conveniently distributed throughout the project. For multiple-family residences, condominiums, planned residential developments, and senior-citizen planned residential developments, at least one of the required parking spaces per unit shall be located in a garage or carport, which is architecturally harmonious with the main structure.

8.5.2 Front Yard Facing a Street

Setbacks for lots fronting the street shall be an average of 20 feet measured from the curb face, but no less than 15 feet (see Figure 8-2, *Sideyard/Corner Concept*). To create visual interest and provide flexible site planning opportunities, variable front yard setbacks are strongly encouraged. For example, some structures may be set back 15 feet while others are set back 25 feet, provided that an overall average of 20 feet is maintained. Porch encroachments are not included in this averaging, as these architectural elements are encouraged to add visual interest and help create an undulating or varying streetscape.

8.5.3 Front Yard Facing Paseos

Homes with front yards facing a paseo require a minimum front yard setback of 15 feet due to their park-like condition (see Figure 8-3, *Paseo Diagram*). When possible, varying front yard setbacks along the paseo are strongly encouraged to create an aesthetically pleasing elevation fronting the paseo. In addition, the three-foot patio, porch, or architectural encroachment is strongly encouraged to add to the architectural integrity of the building facades facing the paseo.

8.5.4 Side Yard Setbacks

Each lot shall maintain a four-foot side yard setback. One side yard area on each lot shall be dedicated as an exclusive use easement so that each home will have a minimum eight-foot side yard area for its exclusive use (see Figure 8-2, *Sideyard/Corner Concept*). This will result in a minimum eight-foot building separation, or four feet per lot.

8.5.5 Patios, Porches, and Covered Entries

Patios, porches, or covered entries may encroach three feet into front or side yard setbacks and shall not be considered part of the main building setback requirement. These features are strongly encouraged when appropriate, given the architectural style, to add visual interest to the home and create a varied streetscape.

8.5.6 Building Separation (Alleys)

Buildings abutting alleys shall maintain a minimum separation of 30 feet from garage door to garage door. Distances between required landscaping in alleyways shall be a minimum of 24 feet (see Figure 8-4, *Alley Diagram*).

8.5.7 Building Separation (Paseos)

A minimum distance of 30 feet shall be provided between buildings facing paseos. A minimum distance of 24 feet shall be provided as measured between allowable encroachments (patios, porches and covered entries), as shown on Figure 8-3, *Paseo Diagram*.



8.5.8 Alley Landscaping

Each alley-loaded lot shall provide a minimum of 20 square feet of landscaping at the rear of the lot to enhance the rear elevations and to create a visually pleasing alleyway (see Figure 8-4, *Alley Diagram*).

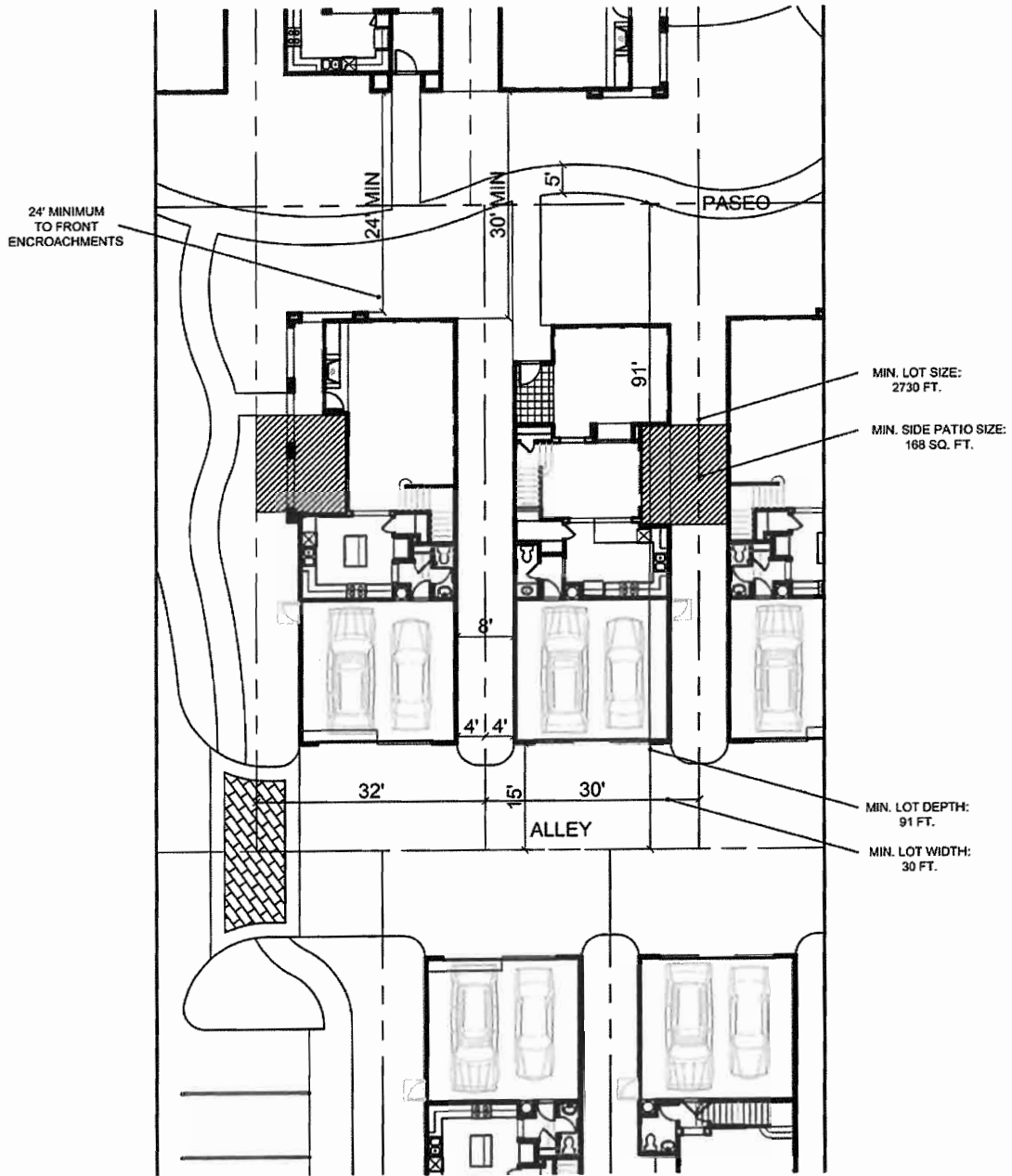
8.5.9 Side Yard Easement Dedication

Planning Area 2 proposes a side yard easement dedication for the use and enjoyment of the adjacent unit (see Figure 8-5, *Side Yard Easement Dedication*). The building setback shall be four feet from the property line for a total of eight feet between units. The unit which has ground floor access and a patio location shall have use of four feet from the property line to the adjacent building footprint. The unit adjacent to the patio-accessible unit shall only be permitted window locations six feet above the floor line on the first and second floors.

8.5.10 Common-Use Easements

Planning Area 2 proposes common-use easements to allow for public/common use of alleys, driveways, open space (paseos) and recreation areas (pocket parks). The common-use easement shall be a minimum of 12-feet wide and shall be provided at the front and rear of the lot. The common-use easements will be held in the name of the homeowners' association for the enjoyment and use of project residents. The common-use easements will be recorded at the time of final tract map and incorporated into the recorded condominium plan for the project. An example of the common-use easement is depicted on Figure 8-6, *Common-Use Easements*.

OAK SPRINGS RANCH

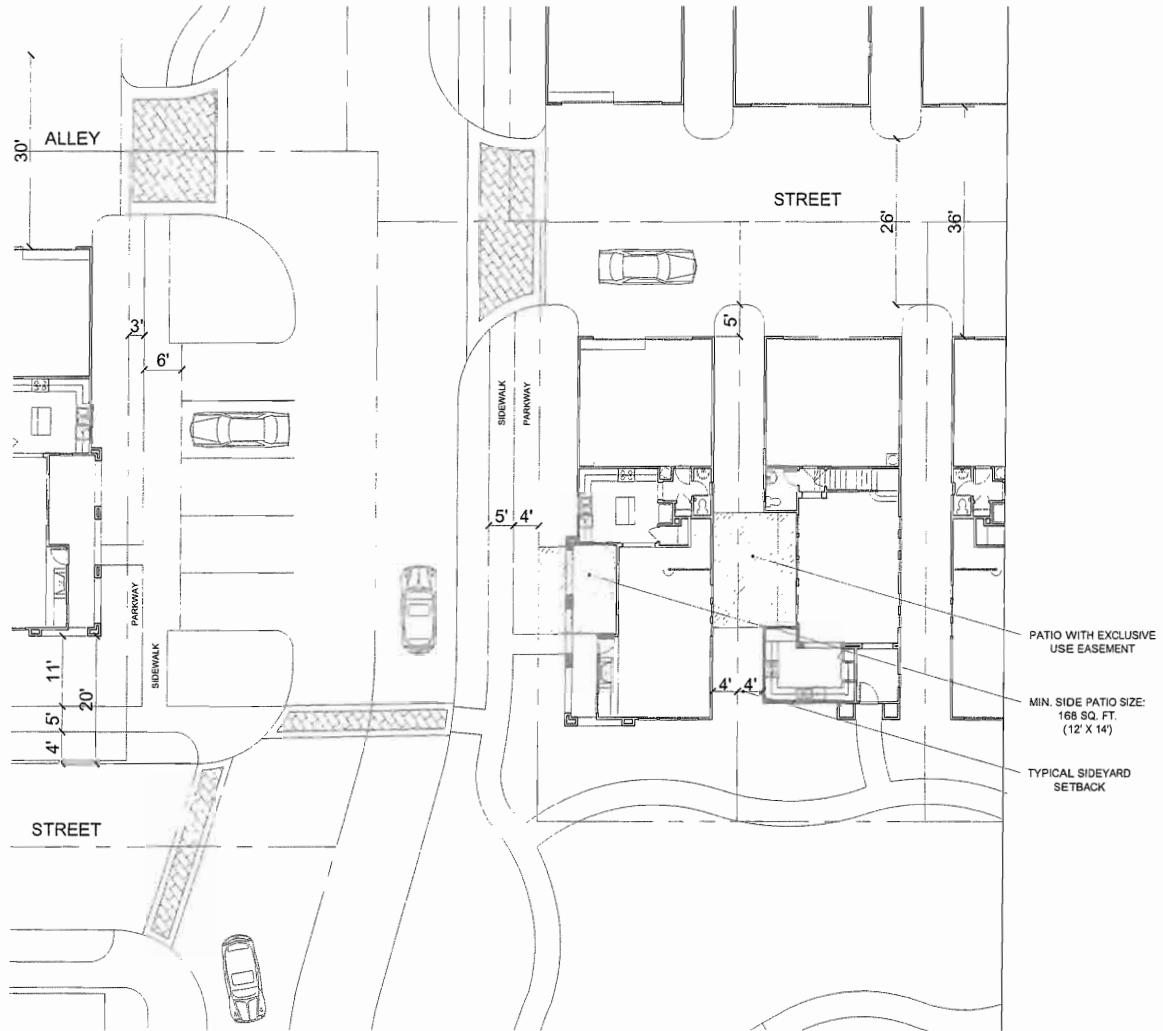


TYPICAL 30' X 91' PLOT DEVELOPMENT STANDARDS

not to scale



OAK SPRINGS RANCH



SIDEYARD/CORNER CONCEPT DEVELOPMENT STANDARDS

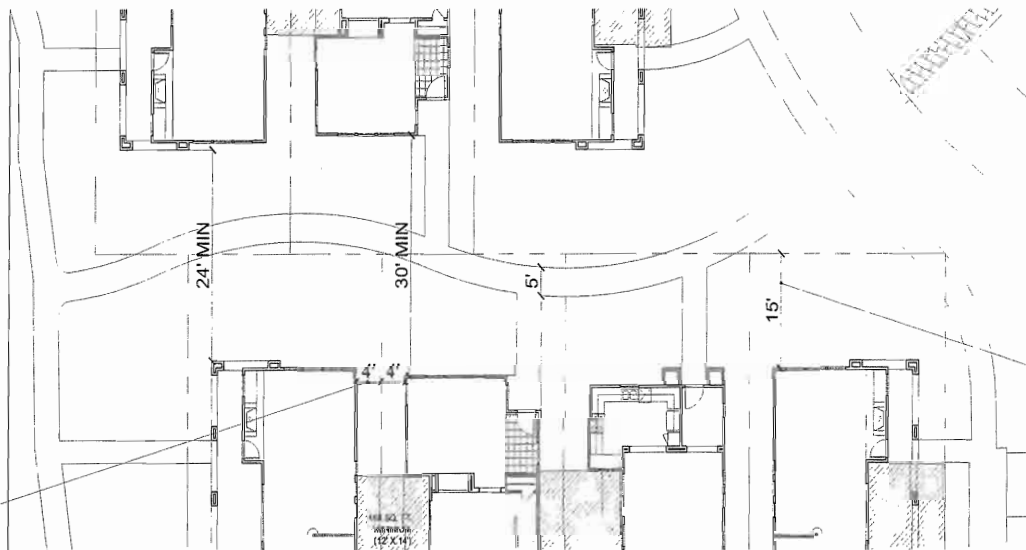
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OAK SPRINGS RANCH

ARCHITECTURAL FEATURES SUCH AS FIREPLACES, BAY WINDOWS, COVERED ENTRIES, OR PATIOS, PORCHES MAY ENCROACH UP TO THREE FEET INTO A SETBACK.

TYPICAL SIDEYARD SETBACK



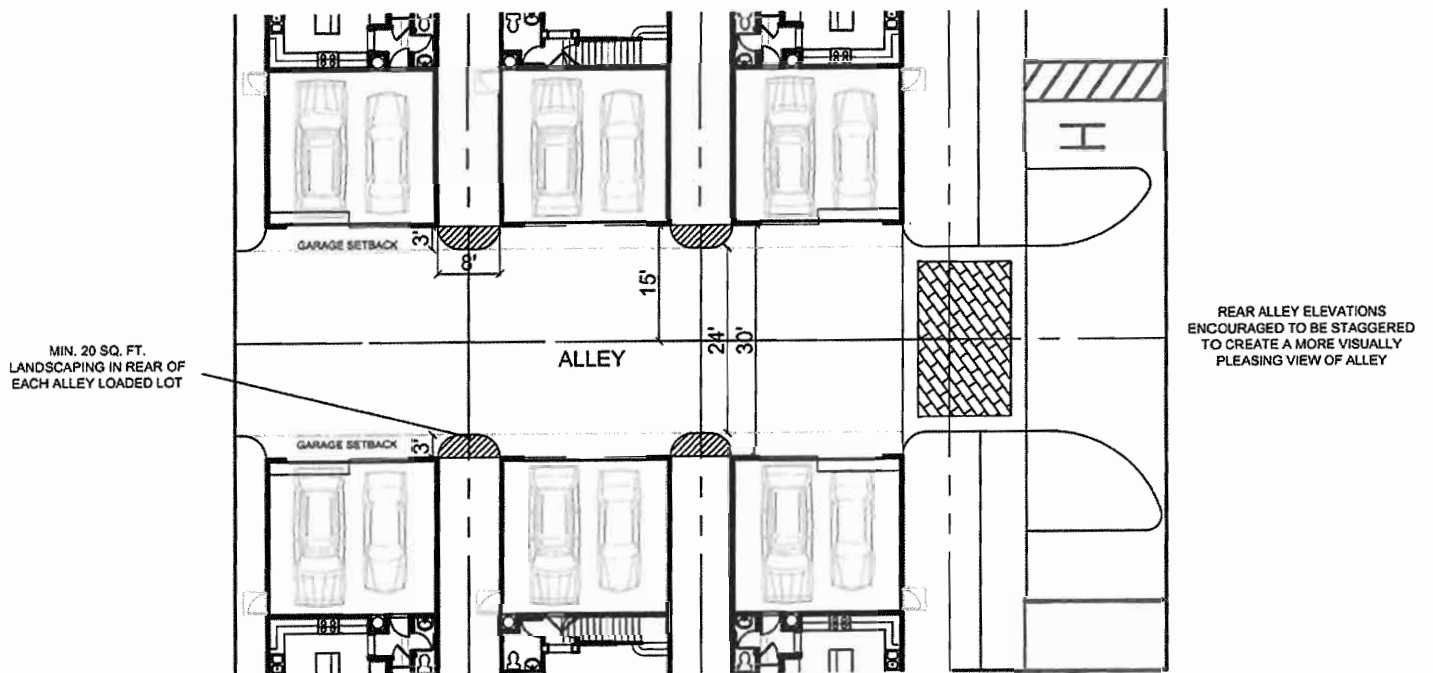
MINIMUM FRONT YARD SETBACK

PASEO DIAGRAM DEVELOPMENT STANDARDS

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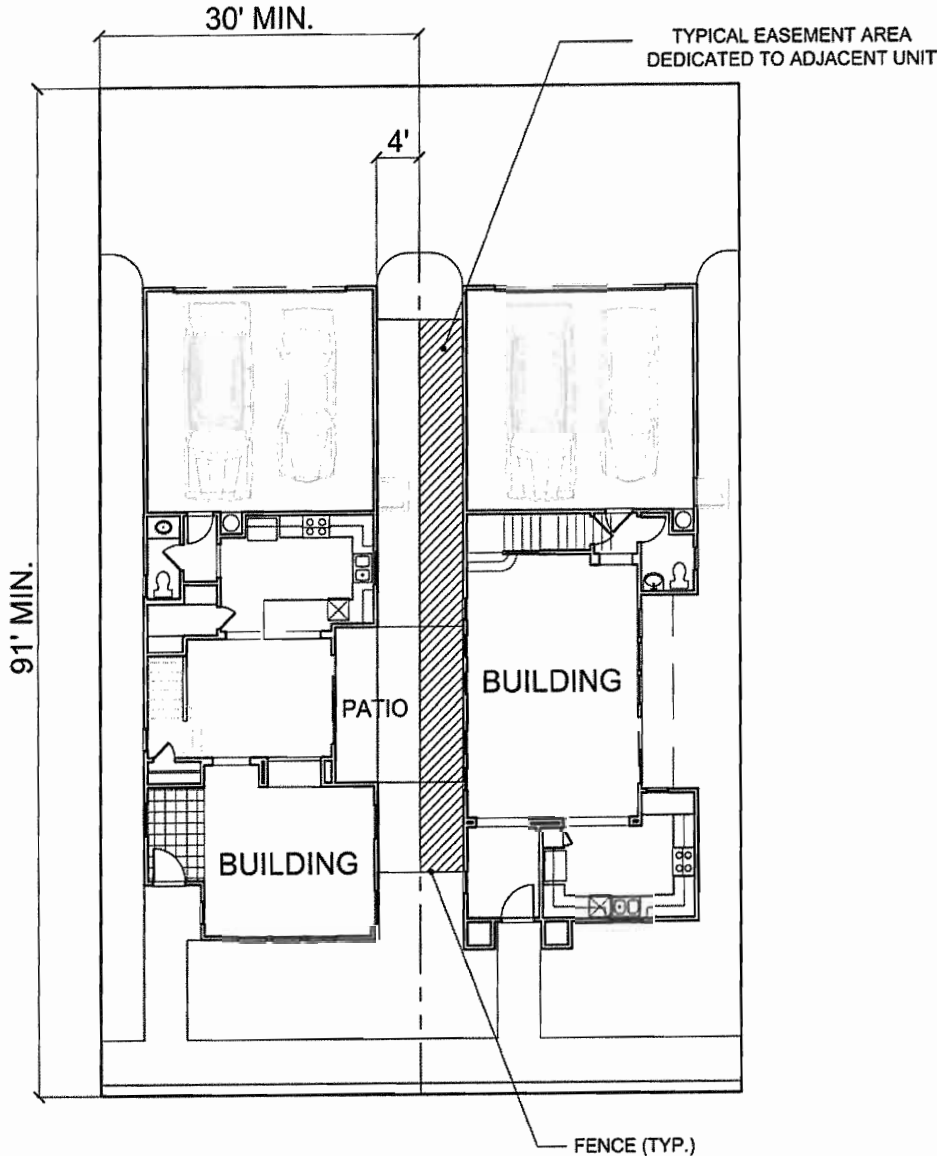


ALLEY DIAGRAM DEVELOPMENT STANDARDS

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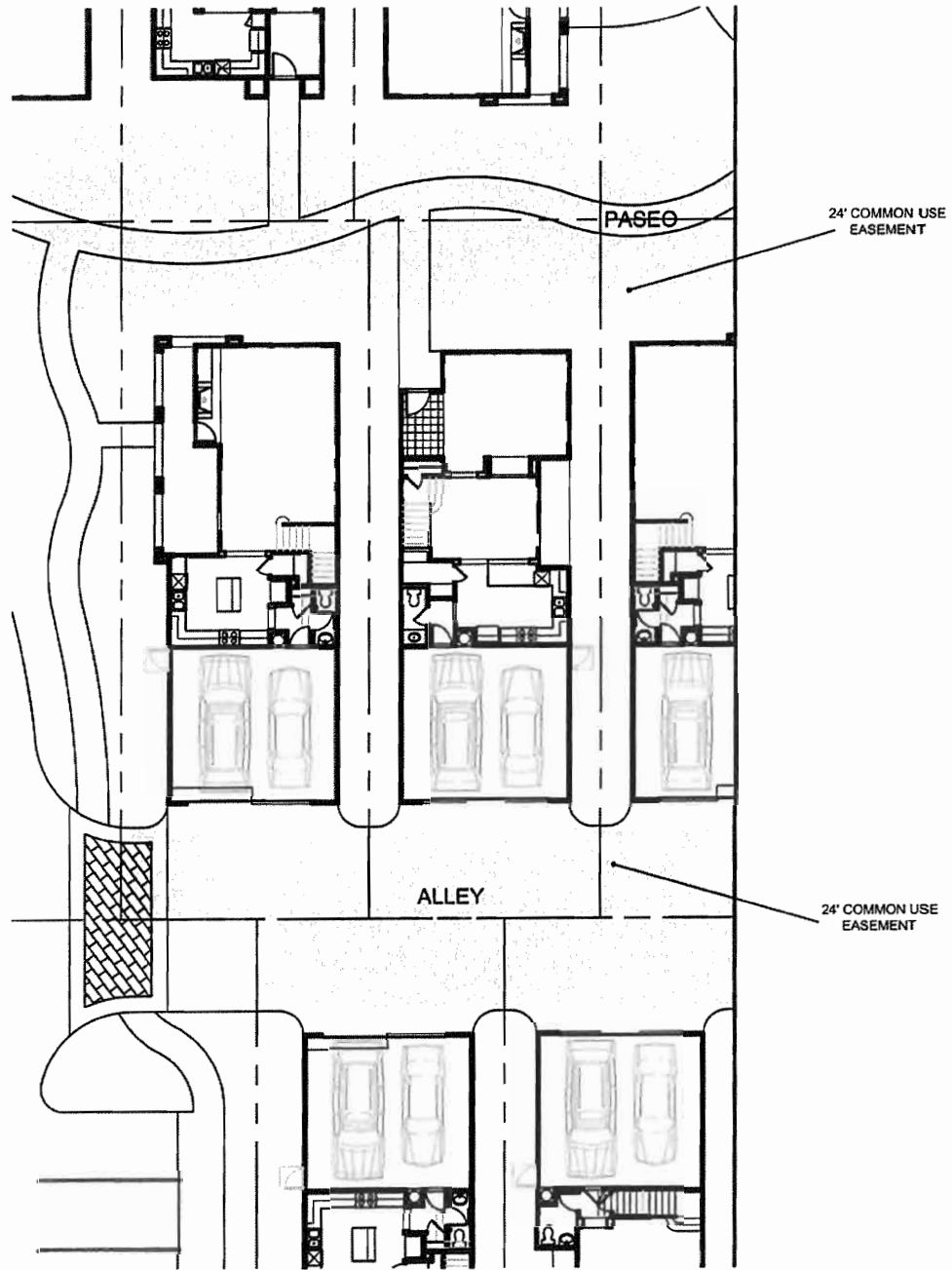
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SIDE YARD EASEMENT DEDICATION (PA 2)



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COMMON-USE EASEMENTS

not to scale





8.6 Conditions of Development for Planned Residential Development

Before any structure is erected or use established in PA 1 or 2, a subdivision map shall be recorded and a development plan approved as set forth below:

- A. A subdivision conforming to the standards and conditions of County Ordinance No. 460, as presently worded or hereafter amended, not inconsistent with specific provisions of this section shall be recorded. All lots not to be used for residential purposes shall be given a lot letter instead of a lot number.
- B. A development plan conforming to the requirements of this article and containing the following minimum information shall be approved by the Planning Commission.
 - Location of each existing and each proposed structure in the development area, the use or uses to be contained therein. Typical plans indicating use on a lot may be used.
 - Location of all pedestrian walks, malls, recreation and other open areas for the use of occupants and members of the public.
 - Location and height of all walls, fences and screen planting, including a plan for the landscaping of the development, types of surfacing, such as paving, turfing, or other landscaping to be used at various locations.
 - Plans and elevations of typical structures to indicate architectural type and construction standards.
- C. Documents setting forth the method of conveying title, the type of estate to be granted, the method of maintaining the open areas and service areas, and the conditions of use of the open or recreation areas shall be submitted to and approved by the Planning Commission. The following minimum standards shall be maintained:
 - The right to use recreational facilities and service areas shall be appurtenant to ownership of residential lots within the development, or shall be made a covenant to run with the land.
 - Provisions shall be made for maintenance of the common and service areas by a corporation, partnership, trust or other legal entity having the right to assess the individual lot owners.

8.7 Site Layout

The site layout provided in this specific plan is for conceptual purposes only. It is anticipated that the building size, footprint, access points, and parking layout will vary once a specific user is identified and the final site plan is approved. However, the final site plan shall include the pedestrian connections as discussed below as well as vehicular access to each planning area that is approved by the County of Riverside. The final site plan (including building layout, access points, building elevations, etc.) shall be approved administratively by the Planning Director.



8.8 Pedestrian Access

As stated above, the following planning standards should be incorporated into the project design to maintain the pedestrian orientation of the Oak Springs Ranch Specific Plan:

- Consideration shall be given to pedestrian circulation patterns, sunlight conditions, wind pattern, and the selection of building and landscape materials when locating a pedestrian open space or pathway.
- Walkways should be designed at a human scale to promote pedestrian and bicycle movement and reduce the impersonal expansiveness of large spaces.
- Planned pedestrian circulation systems shall be incorporated into all site plans to provide the space and alignment for walkways necessary to encourage pedestrian movement.

8.9 Signs

Appropriate signage is important in maintaining the community design theme and provides a system of directional information for residents and visitors. Special signage will identify the individual planning areas. These guidelines and standards, when combined with the building and landscape guidelines and standards will help create a sense of place throughout the planning areas. Unless noted within this specific plan, all signs shall comply with the requirements of Article XIX of Ordinance No. 348 (County of Riverside Sign Ordinance). Individual sign programs will be submitted at the time of site development permit review for each planning area.

The following basic principles shall be considered in the provision of signs within this specific plan:

- A. The design and architectural elements of the proposed signs shall be compatible and consistent with theme elements of the Oak Springs Ranch Specific Plan.
- B. Signs shall relate to human scale, especially along pedestrian corridors.
- C. The design of signs shall be compatible with and complement the architecture of the adjacent buildings.
- D. Signs shall be designed to create a unifying theme within the community.

Signs utilized in the Oak Springs Ranch Specific Plan include both temporary and permanent types as follows.

8.9.1 Permanent Signs

- Street Signs
- Project Identification
- Fire Lane Signs
- Community/Gated Entry Signs



- Community and Neighborhood Monumentation (see Figure 7-4, *Corner & Entry Monument Walls*)

8.9.2 Temporary Signs (present until the completion of project construction)

- Marketing and subdivision sale signs
- Future facility signs
- Directional signs
- Banners and flags

8.9.3 General Sign Standards and Specifications

- A. Planning and Building and Safety Department review and approval are required prior to the placing, erecting, moving, or reconstructing of any sign within the specific plan area.
- B. Signs shall be consistent with building texture, color, and architectural style.
- C. All permanent signs shall require a permit prior to erecting or attaching the sign.
- D. If a situation arises that is not covered by these sign regulations or the type of sign permit required, the Director of Planning shall provide written interpretation after consulting the County's Sign Ordinance.
- E. All building-mounted signs shall meet applicable city, state and federal codes.
- F. All signs containing electrical components shall conform to the Uniform Lighting Code.
- G. Signs shall be placed to be compatible with the building and shall accent the architectural design of the structure.
- H. Sign colors shall be compatible with the building's color and the building.
- I. Signs and letter sizes shall be designed to be complimentary to the building scale.
- J. Signs shall contain an internally or externally concealed illumination source.
- K. Entry and monument signs shall be architecturally compatible with the community.

8.9.4 Inappropriate/Prohibited Signs

- A. Signs that interfere with or conflict with any traffic control device, create a safety hazard by obstructing the clear view of pedestrian or vehicular traffic or interfere with efficient operations of emergency vehicles.
- B. Signs that prevent free access to or from any fire escape, door, window or exit, or access to any standpipe.
- C. Landscaping or the use of annual or ornamental flowers that form a sign or message.
- D. Signs not in scale with the pedestrian orientation.



- E. Signs painted onto building surfaces or trash bins and their enclosures.
- F. Signs with disproportionate, visually distracting, or reflective surfaced background or graphics.
- G. Signs with a noncontrasting background or graphics that render the sign illegible.

8.9.5 Address Numerals

All building-mounted address numerals are to conform to all graphic requirements for signage, herein, and the requirements of the Fire Department.

8.9.6 Directional Signage

- A. Shall consist of small-scale signs that are compatible with the building architecture.
- B. Shall have contrasting background and graphic colors.
- C. Shall have direct or indirect concealed illumination.
- D. Shall not exceed three square feet in area, or have an overall height exceeding three feet above finished grade.

8.9.7 Leasing and Temporary Signs

Leasing, temporary, and future facilities signage shall be permitted for any residential use, provided that the maximum area does not exceed 16 square feet, nor shall the height of the sign exceed 8 feet above finished grade.